



YARD SMART RAIN REWARDS



TECHNICAL & FINANCIAL ASSISTANCE FOR PRIVATE PROPERTY IN KIRKLAND

Agreement # WQNEP-2017-KirkPW-00036

PROGRAM TOOLKIT



Report Prepared By
City of Kirkland
Storm & Surface Water Division

ACKNOWLEDGEMENT

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Toolkit available online:

<https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Toolkit-for-Jurisdictions>

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Program Overview

The City of Kirkland conducts a technical and financial assistance program for Green Stormwater Infrastructure (GSI) project installation on private properties in Kirkland, called *Yard Smart Rain Rewards*. The program was funded by a National Estuary Program grant administered by the Washington Department of Ecology (Ecology) from September 2018 to December 2021.

Yard Smart Rain Rewards focuses on improving water quality in local waterways through the implementation of GSI retrofit strategies on commercial, institutional, and residential properties in Kirkland. City of Kirkland staff provide technical assistance and a rebate program to encourage landowners to implement GSI retrofits to manage stormwater runoff on their property.

In 2018-2020, Yard Smart Rain Rewards focused on the Forbes Creek Watershed. City of Kirkland chose to focus the program in the Forbes Creek Watershed in order to build on stormwater retrofit planning efforts that were occurring there. In 2021, City of Kirkland transitioned Yard Smart Rain Rewards to a citywide program and created a standalone tree rebate program, acting on lessons learned in 2018-2020.

Program Goals

The overall goals of the program are to:

- Reduce runoff volume entering Kirkland's waterways from private properties.
- Increase program participant awareness of the impact of their property on stormwater volume and what they can do to reduce that impact.

Program Elements

Key program elements included:

- **Participant recruitment.** The target audience for this program was property owners whose properties were connected to the municipal stormwater system. Recruitment efforts included the use of social media posts, paid social media ads, Google ads, utility bill inserts, tabling at public events, promotion on City email listservs, and presentations at neighborhood association meetings.
- **Site assessment and report.** City of Kirkland staff conducted a site assessment with each Yard Smart Rain Rewards participant. During the visit, staff walked the participant's property with them and discussed potential stormwater management projects for their property. Following the visit, participants received a report summarizing the site assessment and project recommendations.
- **Project design and construction.** Program participants who chose to construct one of the recommended projects then designed and installed a project, either on their own or with the assistance of a contractor. City of Kirkland staff reviewed project design and construction and provided technical assistance as needed.
- **Project rebate.** Once projects were constructed and inspected by staff, participants were eligible to receive rebates for project costs – up to \$3,000 for single-family homes and up to \$6,000 for multi-family, non-profit and commercial properties.

A standalone tree planting rebate program was added in 2021 for property owners interested in just planting trees rather than a full Yard Smart Rain Rewards project. Participants were eligible to receive a rebate of \$150 per tree – up to \$500 per property.

Program Implementation

Participant Recruitment

City of Kirkland staff designed messaging, logos, and other branding elements to promote the program. These promotion and recruitment materials are included for reference in Appendix A.



Yard Smart Rain Rewards program logo

Recruitment occurs via multiple channels including:

- **News release.** A City of Kirkland news release about Yard Smart Rain Rewards was shared with local media at the beginning of the program.
- **Utility bill insert.** A program overview flyer was included in the City of Kirkland utility bill for 9,100 addresses in the Forbes Creek Watershed.
- **Google ads** with a focus on Kirkland zip codes and related search terms have been purchased throughout the program to drive traffic to the Yard Smart Rain Rewards program website.
- **City of Kirkland email newsletters.** Articles about the Yard Smart Rain Rewards program have been included in the *This Week in Kirkland* (3,993 subscribers) and *Kirkland Conserves* (1,227 subscribers) email newsletters.
- **Social media posts.** Posts regarding Yard Smart Rain Rewards have been included in both the City of Kirkland and Kirkland Conserves Facebook accounts. Targeted Facebook ads have also been purchased.
- **Tabling at public events.** Program staff tabled at the Kirkland Wednesday Market and at the Juanita Friday Market.
- **Presentations at neighborhood association meetings.** City of Kirkland staff have given a presentation about the Yard Smart Rain Rewards program at the neighborhood association meetings for Kirkland neighborhoods.
- **Yard signs.** Many program participants who installed projects agreed to post signs in their yards advertising their participation in Yard Smart Rain Rewards.

Recruitment of multifamily, commercial, and non-profit properties. While very successful with residential properties, the outreach methods listed above had limited effectiveness with multifamily, commercial, and non-profit properties. For this reason, the City of Kirkland hired a contractor, BEA Environmental, to manage the recruitment of this specific audience. BEA Environmental reached out to these properties in the Forbes Creek Watershed via email, phone, and in-person visits.

Timing was a challenge for these recruitment efforts, as BEA Environmental was hired in February 2020, just prior to the start of the COVID-19 pandemic and Shelter in Place order from the Washington Governor.

Program Materials

A suite of resource and educational materials, listed below, were created to support the Yard Smart Rain Rewards program. These materials are included for reference in Appendix B.

- **Program web pages** serve as a hub for program participants, providing guidance on project steps and links to resources and program forms. They also provide information for property owners interested in learning about the program.
- **Fact sheets** provide a brief overview of the different types of rebate-eligible projects. Each page includes a description of the project type including benefits, site considerations and, criteria for rebate eligibility. Fact sheets were also created to describe the program rebate and eligibility to participants.
- **Installation guides** were created as resources for participants interested in installing projects themselves. The guides focus on three project types that do not require technical expertise - downspout disconnection, tree planting, and native landscaping.
- **Maintenance guides** were created to assist participants in the maintenance of their projects. These guides focus on the care and maintenance of cisterns, young trees, and native landscaping.
- **Contractor list** of potential landscape contractors who perform services eligible for the Yard Smart Rain Rewards program. The list is a starting reference and participants are not required to use a contractor from it.

Site Assessments

After registering for the program, participants receive a one-hour site assessment with City of Kirkland staff and receive a folder containing the rebate fact sheet, project checklist fact sheet, project approval forms, contractor list, natural yard care resources, and information about the City's spill and flooding hotline.

During the assessment, staff walk a participant's property with them and discuss site conditions, the flow of stormwater on their property, and the potential for installing rebate-eligible stormwater solutions on their property. Information is collected by staff on a data collection form, included in Appendix C.

After their site assessment, participants receive a report with a summary of conditions on their property in the following categories:

- Site history
- Impervious surface
- Downspouts
- Topography
- Soil quality
- Vegetation
- Site constraints

The report also contains recommendations for Yard Smart Rain Rewards projects best suited to their property, as well as an aerial map of their property marked with existing conditions and features and suggested areas for recommended projects.

The report notes other beneficial stormwater practices and includes a link to the Project Approval Form. Following review for technical feasibility and accuracy by City of Kirkland staff, reports are emailed to program participants. Staff follows up with each participant individually to review recommendations and answer questions. A sample report is included in Appendix C.

Rebates

Participants complete a Project Approval Form when they are ready to move forward with a project. The form lists all the requirements for each project type and includes spaces for participants to enter installer information (contractor or DIY), simple drawings, and cost estimates for their proposed project. Once a participant submits this form, City of Kirkland staff reviews and approves the project or works with the participant to address any issues.

Participants then work with contractors to complete the project – or complete it themselves – and submit a Project Rebate Form, W-9 form, maintenance agreement, itemized invoices and receipts, and proof of payment. Staff also conduct an inspection to verify that projects are installed in accordance with approved plan. Program forms are included for reference in Appendix D.

Rebate structure is described in the tables below:

	Single-family residential	Multifamily, commercial	Non-profit
Percent rebate	75% project costs for work done by contractors. 100% project costs for DIY.	75% project costs	100% of project costs
Total max rebate	\$3,000/parcel	\$6,000/parcel	\$6,000/parcel
Native landscaping	Min 400 sf area converted	Min 800 sf area converted	Min 800 sf area converted
Rain gardens	Min 400 sf contributing area	Min 800 sf contributing area	Min 800 sf contributing area
Cisterns	Min 400 sf contributing area, 200 gal	Min 800 sf contributing area, 400 gal	Min 800 sf contributing area, 400 gal

Simple, stand-alone projects were rebated on a per item basis (rather than a percentage) to streamline the program and simplify the rebate process for program participants and City of Kirkland staff.

This rebate structure is described in the table below:

	Single-family residential	Non-profit, multifamily, commercial
Downspout disconnections	\$50 rebate per downspout	\$50 rebate per downspout
Tree planting	Up to \$150 rebate per tree, up to \$500 per property (cost of tree & mulch)	Up to \$150 rebate per tree, up to \$500 per property (cost of tree & mulch)

Lessons Learned and Recommendations

The Yard Smart Rain Rewards program was intended to both achieve program outcomes and to generate lessons learned for future phases of the program. The following are lessons learned and recommendations for future program implementation.

Recruitment and Outreach

Refine outreach and advertising strategy. Through successful outreach efforts, demand for site assessments quickly outpaced staff availability. For future outreach and participant recruitment efforts, consider a strategic release of outreach materials over a longer timeframe, and as needed, rather than pushing out all recruitment materials at the same time. Implement timeline and/or calendar to plan outreach and track audience responses.

Create outreach strategy specific to business and non-profit sectors

- *Refine marketing approach.* Decision makers for the commercial sector are usually either the property owners or the property management firms authorized by the owner. Send marketing materials to listed property owners, in conjunction with direct outreach to the businesses. A two-tiered approach focused on engaging both the business and the property owner would be ideal for various reasons, including sharing of necessary contact information, locating the appropriate decision makers, and more.
- *Refine timing of outreach.* The primary challenge to participation of multifamily properties was timing and annual budgets for the properties. According to 7 multifamily properties interviewed by BEA Environmental, their property improvement budgets for the following year are developed in late summer/fall and submitted in October. For these types of facilities to participate in future projects, outreach to these facilities should begin at least the summer prior to the timeframe for project installation so property managers can include costs in the following year's improvement plan and budget.

Program Resource Materials

In surveys and conversations with City of Kirkland staff, participants have expressed a need for additional resource materials regarding native landscaping. The average property owner is unfamiliar with native plant species and where to source them.

Create resources or collect existing resources to aid participants with these challenges. Resource materials could include:

- lists of native plant appropriate for suburban yards
- example planting plans for a variety of yard conditions (sun/shade, wet/dry)
- lists of nurseries and plant sales that specialize in native plants

Site Assessments

The average time between a site assessment and the delivery of the site visit report was 20 days in 2021. Site visit reports are reviewed by another Education & Outreach Specialist and a Surface Water Engineer for technical accuracy/feasibility. This delay in delivery of the site visit report results in a missed opportunity to capitalize on the excitement generated during the site visit.

Moving forward, Kirkland will pilot a new method that moves the review by the Surface Water Engineer until the project approval stage, which will likely decrease the turnaround time to 3 days or less.

Project Design and Installation

Participants in 2021 reported significant difficulty in securing a contractor for their Yard Smart projects. Most reported that contractors never returned their calls. When a bid was provided, costs were substantially higher than what participants expected and rebates were not enough to offset the total cost.

Future programs might consider adding more support for do-it-yourself (DIY) participants, including workshops for plant selection, site design, material sourcing, etc.

Rebates

Continue offering 100% rebate option for participants who choose to install project themselves instead of hiring a contractor. This option reduces financial barriers to participation.

Timeline

While this current program faced numerous delays and challenges due to the extraordinary circumstances of the COVID-19 pandemic, timing will always be a challenge with this type of program. Participants will always have competing priorities and landscape contractors will always be hard to schedule.

Consider scheduling multiple check-in points with program participants. These could include:

- Newsletter-format emails to all participants with project tips, plant sale information, and timeline reminders.
- Quarterly phone call check-ins.
- Skill-building workshops for program participants, where staff can assist with project planning and design elements.

Appendices

A. Overall Project Accomplishments

B. Recruitment Materials

C. Program Materials

D. Site Assessment Materials

E. Program Forms

Yard Smart Rain Rewards Program Results

\$133,486.85
Total Rebates Awarded

\$179,641.94
Total Spent by Participants

\$3,068.13
Average Project Rebate
(excludes tree rebates)



71 cents
rebate cost per gallon
of runoff managed



576,836 gallons
of runoff reduced annually



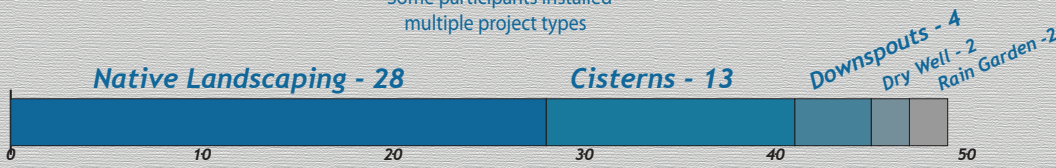
25,555 square feet
of new native landscaping



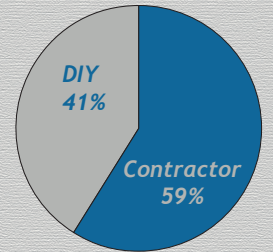
27,136 square feet
of impervious surface managed

Project Type

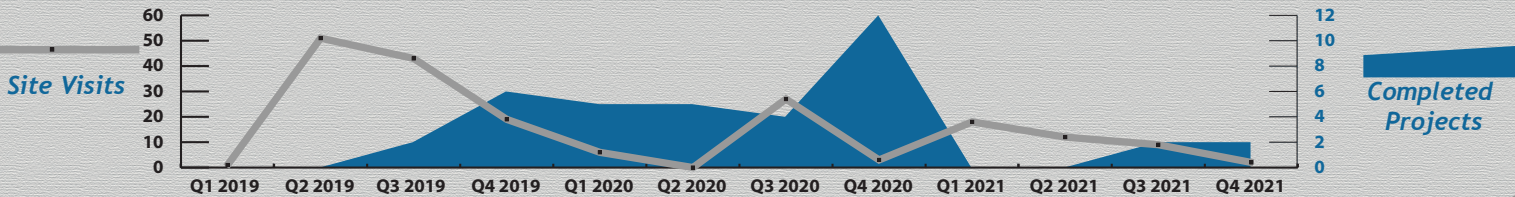
*Some participants installed multiple project types



Project Installer



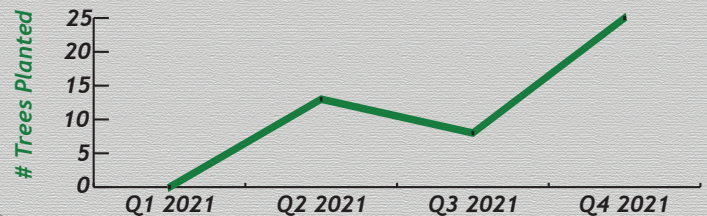
Project Activity



Trees Planted

135

Tree Planting Activity



Appendix B - Recruitment Materials

- News release
- Utility bill insert
- Google ads
- City of Kirkland email newsletters
- Social media
- Yard signs



**City of Kirkland
NEWS RELEASE**

**123 – Fifth Avenue
Kirkland, WA 98033**
www.kirklandwa.gov



Contact: Kellie Stickney
Communications Program Manager
KStickney@kirklandwa.gov
425-587-3021

February 21, 2019

City of Kirkland Launches New Yard Smart Rain Rewards Program

Kirkland, Wash –

The City of Kirkland has launched an exciting new program called Yard Smart Rain Rewards to provide free technical and financial assistance to qualified Kirkland property owners who install simple and beautiful landscaping projects to manage rainwater on their property.

Under this new program, property owners who install environmentally-friendly landscape projects like rain gardens, rain capture cisterns, and native landscaping will qualify for rebates covering between 75 and 100% of their project costs up to \$3,500 for single-family homes and up to \$7,000 for multi-family, commercial, non-profit, and industrial properties. “The goal of this program is to work with Kirkland property owners to slow the flow of rainwater runoff and allow it to naturally soak into the ground before it reaches Forbes Creek or Lake Washington,” said Aaron Hussmann, Education and Outreach Specialist with the City.

Every time it rains, water picks up and carries pollutants from our roofs, driveways, patios, and lawns, into the nearest storm drain, and finally into local creeks and Lake Washington. During big storms, the volume of rainwater runoff can cause neighborhood flooding and erosion hazards. Yard Smart Rain Rewards projects are designed to capture that polluted rainwater before it leaves a property, slow its flow, and allow it to soak into the ground naturally where pollutants can be filtered out.

Property owners in the Forbes Creek watershed (including large portions of North and South Rose Hill neighborhoods, and small portions of the Highlands, Juanita, Norkirk, and Totem Lake Neighborhoods) are eligible to install a Yard Smart project and claim a Rain Rewards rebate.

Participants in Yard Smart Rain Rewards will receive a free consultation at their property to determine the project that is best suited for their budget, time, and goals. To learn more, determine your eligibility, or sign up for a free Yard Smart consultation, visit kirklandwa.gov/yardsmart. Each property consultation also includes a free bag of yard-friendly compost.

For more information, contact Kirkland's Yard Smart Rain Rewards program at 425-587-3857 or yardsmart@kirklandwa.gov.

###

Yard Smart Rain Rewards is funded in part by the U.S. Environmental Protection Agency under assistance agreement with the Washington Department of Ecology.



Utility Bill Insert

YARD SMART RAIN REWARDS

PROGRAM OVERVIEW

What?

Yard Smart Rain Rewards is a City of Kirkland program that provides free technical assistance and **rebates up to \$3,500 or \$7,000*** to Kirkland property owners who install simple and beautiful projects to manage rainwater on their property.



Why?

Every time it rains, water picks up and carries pollutants from our roofs, driveways, patios, and lawns, into the nearest storm drain, and finally into Forbes Creek and Lake Washington.

During big storms, the amount of rainwater runoff can cause neighborhood flooding and erosion hazards.

YOUR YARD CAN HELP.

How?

Slow it down and soak it up.

Installing a rain garden, rain capture cistern, or native landscaping at your home slows the flow of polluted water, and lets it naturally soak into the ground, where pollutants are filtered and the water is cleaned.

Be Yard Smart, Get Rain Rewards Rebates!

For Single-Family Homes:

75% of Project Costs up to **\$3,500** for work done by contractors.

100% of Project Costs up to **\$3,500** for DIY projects.

*For Multi-Family Homes & Commercial Properties:

75% of Project Costs up to **\$7,000**

Eligible projects include **rain gardens, cisterns, and native landscaping**. See reverse for details.



HOW WILL YOU BE YARD SMART?

RAIN GARDENS



Rain gardens are bowl-shaped gardens designed to collect water from your roof and slowly soak it into the ground. Rain gardens add beauty to your landscape, help control runoff, and improve the quality of water draining from your property to Lake Washington.

CISTERNS



A cistern is a large, above-ground container used to collect roof water. During the winter, cisterns collect rain and slowly release it into the ground or your garden. In the summer, water can be collected and used for watering.

NATIVE LANDSCAPING



Native landscaping replaces poorly draining surfaces like pavement and lawns with a thick mulch layer and native plants to beautify your yard, attract pollinators, and clean polluted runoff.

How to Join



1.

FIND OUT IF YOUR HOME IS ELIGIBLE



2.

SCHEDULE YOUR CONSULTATION



3.

CHOOSE YOUR YARD SMART PROJECT



4.

BUILD YOUR PROJECT



5.

CLAIM YOUR REBATE UP TO \$3,500 OR \$7,000



6.

MAINTAIN YOUR PROJECT

Learn More

Online

kirklandwa.gov/yardsmart

Email

yardsmart@kirklandwa.gov

Phone

(425) 587 - 3857



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Google Ads


Google rain gardens

All Images Shopping News Videos More Settings Tools

About 141,000,000 results (0.77 seconds)

Yard Smart Rain Rewards | Rebates up to \$3,500 | kirklandwa.gov
www.kirklandwa.gov/
Planning a landscape project? You may be eligible for \$3,500 in rebates. Learn more here!

A **rain garden** is a **garden** of native shrubs, perennials, and flowers planted in a small depression, which is generally formed on a natural slope. It is designed to temporarily hold and soak in **rain** water runoff that flows from roofs, driveways, patios or lawns.




rain gardens - Groundwater Foundation
<https://www.groundwater.org/action/home/raingardens.html>

About this result Feedback

People also ask

- How do you build a rain garden?
- What is a rain garden and how does it work?
- How much does a rain garden cost?
- What are the benefits of a rain garden?

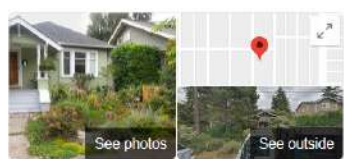
Feedback



Rain garden

One of the wide variety of soil-absorption/filter systems, a **rain garden**, also called a **stormwater garden**, is a designed depression storage or a planted hole that allows **rainwater** runoff from impervious ... [Wikipedia](#)

Feedback



Monsoon Rain Gardens

Google rain gardens

Feedback

PDF Rain Garden Handbook - Access Washington
<https://fortress.wa.gov/ecy/publications/documents/1310027.pdf>
Jun 30, 2013 - Rain Garden Handbook for Western Washington. Funding for this project was provided by the Washington State Department of Ecology ...

How to Build a Rain Garden to Filter Run-Off | This Old House
<https://www.thisoldhouse.com/how-to/how-to-build-rain-garden-to-filter-run/>
By building a rain garden, you can divert your gutter water into an attractive planting bed that works like a sponge and natural filter to clean the water and let it ...

How to Build a Rain Garden | Gardener's Supply
<https://www.gardeners.com/how-to/rain-garden/5712.html>
rain garden illustration A rain garden collects water runoff and allows it to soak into the ground. Filled with moisture-tolerant plants, it can also be a beautiful ...

Neighborhood Rain Garden Program - City of Kirkland
https://www.kirklandwa.gov/~/Drainage/~/Neighborhood_Rain_Garden_Program.html
A rain garden is a common-sense feature for a Pacific Northwest yard. It is a bowl-shaped garden that uses soils and plants to manage rainwater runoff.

Yard Smart Rain Rewards | Rebates up to \$3,500
www.kirklandwa.gov/
Planning a landscape project? You may be eligible for \$3,500 in rebates. Learn more here!

Searches related to rain gardens

- why are rain gardens important
- disadvantages of rain gardens
- rain gardens benefits
- problems with rain gardens
- do rain gardens have standing water
- plants for rain gardens
- rain garden construction
- how do rain gardens work

Goooooooooogle >
1 2 3 4 5 6 7 8 9 10 Next

Yard Care

Yard Smart Rain Rewards. Kirkland's exciting new program, [Yard Smart Rain Rewards](#), provides free technical assistance and rebates up to \$3,500 for property owners who install simple, earth-friendly landscaping projects on their property to help manage the flow of polluted rainwater. Property owners who live in the Forbes Creek Watershed are eligible to participate.



By installing simple projects like rain gardens, cisterns, and native landscaping, your property can help slow the flow of polluted rainwater runoff to Forbes Creek and Lake Washington, and allow it to soak into the ground where it can be naturally filtered. To learn more about this exciting program visit www.kirklandwa.gov/yardsmart or email yardsmart@kirklandwa.gov.

Spring Plant Sale. April 26-27, May 3-4, Lake WA Institute of Technology. Vegetable starts, hardy shrubs and trees, and a wide selection of annuals for sale. [Information about the plant sale, including plant choices.](#)

Are you planning a landscaping project this summer? Make it an earth-friendly project by participating in the City of Kirkland's newest program, [Yard Smart Rain Rewards](#). This exciting new program provides free technical assistance and financial rebates up to \$3,500 to Kirkland property owners who install simple, earth-friendly landscape projects like rain gardens, rain capture cisterns, and native landscaping.

Why?

Every time it rains, water picks up and carries pollutants like oil, soap, fertilizer, pesticides, and pet waste from our roofs, driveways, patios, and lawns, into the nearest storm drain, and finally into local creeks and Lake Washington.

During big storms, the volume of rainwater runoff can cause neighborhood flooding and erosion hazards. In fact, the average Kirkland home produces more than 62,000 gallons of runoff each year, the equivalent of 2 bathtubs of water per day!

Yard Smart Rain Rewards projects are designed to capture that polluted rainwater before it leaves a property, slow its flow, and allow it to soak into the ground where pollutants can be filtered out naturally.

Join Today

Property owners in the Forbes Creek watershed (including large portions of North and South Rose Hill neighborhoods, and small portions of the Highlands, Juanita, and Norkirk Neighborhoods) are eligible to install a Yard Smart project and claim a Rain Rewards rebate.

Participants will receive a free consultation at their property to determine the project that is best suited for their budget, time, and goals. To learn more, determine your eligibility, or sign up for a free Yard Smart consultation, visit kirklandwa.gov/yardsmart. Each property consultation also includes a free bag of yard-friendly compost!

For more information, contact Kirkland's Yard Smart Rain Rewards program at 425-587-3857 or yardsmart@kirklandwa.gov.

Social Media



Kirkland, WA - Government



February 21 at 1:04pm • 🌐

Be Yard Smart, Get Rain Rewards! The City of Kirkland's newest program, Yard Smart Rain Rewards, provides property owners in the Forbes Creek watershed with technical assistance and financial rebates up to \$3,500 to install projects like rain gardens, rain capture cisterns, and native landscaping to slow the flow of polluted rainwater runoff and allow it to soak in naturally.

Find out if your property is eligible and learn how to be Yard Smart at kirklandwa.gov/yardsmart.



Like

Comment

Share



150



Write a comment...





Kirkland, WA - Government

February 21 at 1:04pm • 🌐

Did you know? Every time it rains, water picks up and carries pollutants from our roofs, driveways, patios, and lawns into the nearest storm drain, and finally into your local creek and Lake Washington. During storms, this rainwater can also cause neighborhood flooding and erosion. But your yard can be part of the solution!

Learn how to be Yard Smart and find out if you're eligible for up to \$3,500 in landscaping rebates at kirklandwa.gov/yardsmart.



👍 Like

💬 Comment

➦ Share

👍 173



Write a comment...





Kirkland, WA - Government

February 21 at 1:04pm • 🌐

Are you planning a landscaping project this summer? Be Yard Smart and Get Rain Rewards! The City of Kirkland is offering free technical assistance and rebates up to \$7,000 for qualified property owners in the Forbes Creek watershed who install projects like rain gardens, rain capture cisterns, and native landscaping to help slow down and clean polluted rainwater runoff.

Learn how to be Yard Smart and find out if your property is eligible for Rain Rewards rebates at kirklandwa.gov/yardsmart.



👍 Like

💬 Comment

➦ Share

👍 114



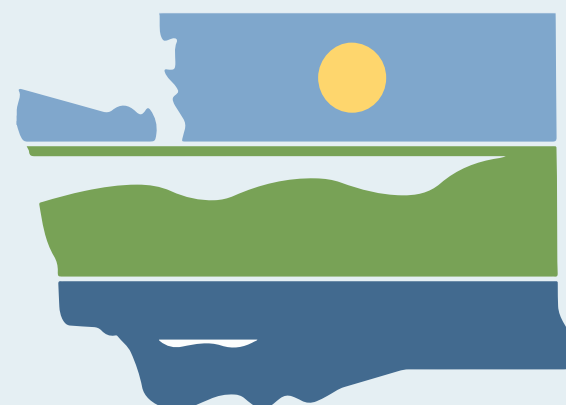
Write a comment...



We're Yard Smart!

We installed

to protect Forbes Creek.



This project has been funded wholly or in part by the United States Environmental Protection Agency under assistance agreement 01J18101 to Washington Department of Ecology.



kirklandwa.gov/yardsmart

Appendix C - Program Resource Materials

- Web Pages
- Fact Sheets
 - Project Steps
 - Rebates
 - Rain Gardens
 - Cisterns
 - Native Landscaping
 - Downspout Disconnection
 - Tree Planting
- Contractor List
- Installation Guides
 - Tree Planting
 - Downspout Disconnection
 - Native Landscaping
- Maintenance Guides
 - Trees
 - Native Landscaping
 - Cisterns
- Tree List – City of Kirkland Staff Recommendations
- Tree Planting Program Materials
 - Department of Ecology Tree List
 - Online Tree Planting Course
- Tracking Spreadsheet



Yard Smart Rain Rewards



UPDATE 12/28/2020: We are now accepting new participants for Yard Smart Rain Rewards in 2021. Please continue reading through the eligibility information below before scheduling your site visit.

What?

Are you planning a landscaping project this year? Yard Smart Rain Rewards is an exciting opportunity for Kirkland homeowners to beautify their yards and help keep polluted rainwater runoff out of Lake Washington.

Qualified homes can take advantage of free technical assistance and rebates to install beautiful projects like rain gardens, native landscaping, and cisterns on their property to manage rain water runoff.

Why?

Every time it rains, water picks up and carries pollutants from our roofs, driveways, patios, and lawns, into the nearest storm drain, and finally into the nearest creek and Lake Washington. During big storms, the amount of rainwater runoff can cause neighborhood flooding and erosion hazards.



Your Yard Can Help!

How does Yard Smart Rain Rewards work?

1) Find Out if Your Property is Eligible

New for 2021: All Kirkland property owners are potentially eligible. However, only properties with downspouts currently connected to the City's stormwater drainage system are eligible for rebates. Properties with downspouts that are already disconnected are not eligible for rebates in 2021.

If your property has downspouts that connect into the ground, ***you may be eligible***. Yard Smart staff will help verify whether your downspouts are connected and determine your eligibility at your site visit. The photos below demonstrate what connected and disconnected downspouts might look like:



Connected downspout



Disconnected downspout

2) Schedule a Free Project Consultation

Yard Smart Rain Rewards consultations are a free service to help find the project right for you, your landscape, your budget, and your goals. In order to be eligible to receive a Rain Rewards rebate, all participants must first complete a Yard Smart consultation.

Consultations consist of a 60 minute site visit that will take place at your property with one of our Yard Smart staff.

Please note: All participants are required to wear a mask and maintain physical distancing during a site visit. We ask that you please reschedule your site visit if you are experiencing any Covid-like symptoms or have recently been exposed to someone with a positive Covid-19 test result.

3) Choose Your Yard Smart Project

Eligible project types include rain gardens, rain capture cisterns, and native landscaping. All projects must result in at least 400 square feet of impervious surface being disconnected from the City's stormwater drainage system.

[Learn more about each project type, considerations, and requirements.](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Yard-Smart-Types-of-Projects)

[\(/https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Yard-Smart-Types-of-Projects\)](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Yard-Smart-Types-of-Projects)

4) Build Your Project

Once Yard Smart staff conducts a site visit on your property, we will send you a written report that includes a list of site-specific project options to reduce runoff from your property.

You can install more than one project on your property. Rebates range from 75 percent to 100 percent of project costs, up to \$3,000 or \$6,000 depending on property type.

[Project Steps Checklist](/files/sharedassets/public/public-works/surface-water/project-steps-checklist.pdf) ^(PDF, 10MB) [\(/files/sharedassets/public/public-works/surface-water/project-steps-checklist.pdf\)](/files/sharedassets/public/public-works/surface-water/project-steps-checklist.pdf)

[Contractor List](/files/sharedassets/public/public-works/surface-water/2021-contractor-list.pdf) ^(PDF, 2MB) [\(/files/sharedassets/public/public-works/surface-water/2021-contractor-list.pdf\)](/files/sharedassets/public/public-works/surface-water/2021-contractor-list.pdf)

Project Approval Forms:

- [Native Landscaping, Cisterns, and Rain Gardens](/files/sharedassets/public/public-works/surface-water/yard-smart-project-approval-form.pdf) (PDF, 650KB) (/files/sharedassets/public/public-works/surface-water/yard-smart-project-approval-form.pdf)
- [Downspout Disconnection Only](/files/sharedassets/public/public-works/surface-water/2021-downspout-disconnect-project-approval.pdf) (PDF, 157KB) (/files/sharedassets/public/public-works/surface-water/2021-downspout-disconnect-project-approval.pdf)

5) Claim Your Rebate

For Single Family Homes, we will cover 75% of project costs up to \$3,000 for work done by contractors, or 100% of project costs up to \$3,000 for Do-It-Yourself (DIY) projects.

For Multi-Family Homes & Non-Residential Properties (commercial, industrial, non-profit, churches, etc), we will cover 75% of project costs up to \$6,000.

[Rebate Fact Sheet](/files/sharedassets/public/public-works/surface-water/yard-smart-rebate-fact-sheet.pdf) (PDF, 185KB) (/files/sharedassets/public/public-works/surface-water/yard-smart-rebate-fact-sheet.pdf)

To Receive Rebate

1. After your project is installed, inform City of Kirkland staff (at yardsmart@kirklandwa.gov (<mailto:yardsmart@kirklandwa.gov>)) that it is ready to be inspected.
2. City staff will inspect your project(s) and give approval of the installation, or provide any necessary changes.
3. After receiving final approval, submit a fully completed [Project Rebate Packet](/files/sharedassets/public/public-works/surface-water/2021-project-rebate-paperwork.pdf) (PDF, 318KB) (/files/sharedassets/public/public-works/surface-water/2021-project-rebate-paperwork.pdf) , along with required attachments. For downspout disconnection only, use this [rebate form](/files/sharedassets/public/public-works/surface-water/2021-downspout-disconnect-rebate-form.pdf) (PDF, 126KB) (/files/sharedassets/public/public-works/surface-water/2021-downspout-disconnect-rebate-form.pdf) .
4. A rebate check for the installed project(s) will be issued within one month from when your completed Project Rebate Packet is received by the City of Kirkland.

All projects must be installed by November 30, 2021.

Questions?

View our [Frequently Asked Questions](#)

(<https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Yard-Smart-FAQs>) or email yardsmart@kirklandwa.gov (<mailto:yardsmart@kirklandwa.gov>).

If you're not ready to install a Yard Smart project on your property, or your home is outside of the Rain Rewards eligibility area, Kirkland Public Works recommends everyday steps to reduce polluted stormwater runoff (<https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/What-You-Can-Do-For-Clean-Water>).



(<https://www.kingcd.org>).

Rebates for the 2021 Yard Smart Rain Rewards program are funded through the [King Conservation District Member Jurisdiction Grant Program](https://www.kingcd.org) (<https://www.kingcd.org>).



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Report Spills and Flooding

Call our 24/7 pollution and flooding hotline

[425-587-3900 \(tel:4255873900\)](tel:4255873900)

Contact Us

For non-emergency drainage or stormwater concerns, visit

Yard Smart Program Contact

Aaron Hussmann

Education and Outreach Specialist

[425-587-3857 \(tel:4255873857\)](tel:4255873857)

[yardsmart@kirklandwa.gov \(mailto:yardsmart@kirklandwa.gov\)](mailto:yardsmart@kirklandwa.gov)

Yard Smart Resources

Getting Started

[Project Checklist](#) ^(PDF, 10MB) [\(/files/sharedassets/public/public-works/surface-water/project-steps-checklist.pdf\)](#)

[Potential Contractor List](#) ^(PDF, 2MB) [\(/files/sharedassets/public/public-works/surface-water/2021-contractor-list.pdf\)](#)

[Rebate Fact Sheet](#) ^(PDF, 185KB) [\(/files/sharedassets/public/public-works/surface-water/yard-smart-rebate-fact-sheet.pdf\)](#)

[Frequently Asked Questions](#)

[\(https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Yard-Smart-FAQs\)](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards/Yard-Smart-FAQs)

Approval Forms

[Project Approval Form - Native Landscaping, Cisterns, and Rain Gardens](#) ^(PDF, 650KB) [\(/files/sharedassets/public/public-works/surface-water/yard-smart-project-approval-form.pdf\)](#)

[Project Approval Form - Downspout Disconnection Only](#) ^(PDF, 650KB) [\(/files/sharedassets/public/public-works/surface-water/yard-smart-project-approval-form.pdf\)](#) [Project Approval Form - Downspout Disconnection Only](#) ^(PDF, 157KB) [\(/files/sharedassets/public/public-works/surface-water/2021-downspout-disconnect-project-approval.pdf\)](#)

Rebate Forms

[Project Rebate Form - Native Landscaping, Cisterns, and Rain Gardens](#) ^(PDF, 318KB) [\(/files/sharedassets/public/public-works/surface-water/2021-project-rebate-paperwork.pdf\)](#)

[Project Rebate Form - Downspout Disconnection Only](#) ^(PDF, 126KB) [\(/files/sharedassets/public/public-works/surface-water/2021-downspout-disconnect-rebate-form.pdf\)](#)



Rain Gardens



About: Rain gardens are bowl-shaped gardens designed to collect and filter water from your roof, driveway, or patio. Rain gardens can be shaped and sized to fit your yard, are filled with a rich layer of mulch and compost to help water soak in, and are landscaped with a variety of plants that fit your yard, sun, and soil.

A rain garden will reduce water pollution, replenish the groundwater supply and provide a self-irrigating landscape. By slowing down rainwater runoff and filtering pollution, it helps protect our local creeks and reduces flooding in our neighborhoods. It also provides great habitat for birds and butterflies.

Eligibility Criteria:

- Your property must be currently connected to the City stormwater drainage system.
- The rain garden must collect runoff from a minimum of 400 square feet of impervious surface area (800 sf for commercial, institutional, and industrial properties) being disconnected from the stormwater system.
- All other technical project requirements are listed in the Project Approval (LINK) packet.

Considerations:

- Your property needs a fairly level yard with a slope less than 5%
- Rain gardens need to be located at least 10 feet away from your foundation and at least 50 feet away from steep slopes.
- Rain gardens need well-draining soil. An soil drainage test will determine if a rain garden is right for your property.

Resources:

- [Rain Garden Fact Sheet](#) ^(PDF, 4MB) [\(/files/sharedassets/public/public-works/surface-water/2021-rain-garden-fact-sheet.pdf\)](https://files/sharedassets/public/public-works/surface-water/2021-rain-garden-fact-sheet.pdf)
- [Western Washington Rain Garden Handbook](#) [\(https://apps.ecology.wa.gov/publications/publications/1310027.pdf\)](https://apps.ecology.wa.gov/publications/publications/1310027.pdf)
- [How to Conduct a Soil Drainage Test](#) ^(PDF, 212KB) [\(/files/sharedassets/public/public-works/surface-water/infiltration-test-worksheet.pdf\)](https://files/sharedassets/public/public-works/surface-water/infiltration-test-worksheet.pdf)

Cisterns



About: A cistern is a large rain barrel that collects hundreds to thousands of gallons of water. Made of durable materials like metal, heavy plastic, or fiberglass, cisterns fill with water from your roof, gutters, and downspouts. Cisterns can help slow the flow of rainwater that floods our neighborhoods and creeks, and provide you with water to irrigate your lawn and garden each summer!

Eligibility: Cisterns must drain a minimum roof area of 400 square feet for single-family residential properties, or 800 square feet for multi-family, commercial, and industrial properties.

Considerations:

- Cistern overflow must discharge at least 5 feet from the house foundation.
- Cisterns must be placed at least 5 feet from property lines.
- Full cisterns can weigh thousands of pounds. Careful placement and a sturdy foundation will keep your cistern safe and secure.
- Dark colored cisterns in shaded locations will limit algae growth, reduce maintenance needs, and prolong the life of your cistern.

Resources:

- [Kirkland Cistern Fact Sheet](/files/sharedassets/public/public-works/surface-water/2021-cistern-fact-sheet.pdf) ^(PDF, 9MB) (/files/sharedassets/public/public-works/surface-water/2021-cistern-fact-sheet.pdf)
- [DIY Cistern Installation Guide](https://700milliongallons.org/wp-content/uploads/2020/08/Installing-cisterns-in-your-garden.pdf) (https://700milliongallons.org/wp-content/uploads/2020/08/Installing-cisterns-in-your-garden.pdf) from Seattle Public Utilities.
- [Cistern Maintenance Guide](/files/sharedassets/public/public-works/surface-water/diy-cistern-maintenance-guide.pdf) ^(PDF, 2MB) (/files/sharedassets/public/public-works/surface-water/diy-cistern-maintenance-guide.pdf)
- [Cistern and rain barrel sources](https://www.kingcounty.gov/services/environment/stewardship/nw-yard-and-garden/rain-barrels.aspx) (https://www.kingcounty.gov/services/environment/stewardship/nw-yard-and-garden/rain-barrels.aspx)
- [Using Cistern/Roof Water for Edible Vegetable Gardens](https://www.sightline.org/2015/01/07/a-green-light-for-using-rain-barrel-water-on-) (https://www.sightline.org/2015/01/07/a-green-light-for-using-rain-barrel-water-on-)

[garden-edibles/](#))

Native Landscaping



About: Native landscaping is the removal some of your less permeable surfaces – such as patios or lawns - and replacing them with native plants and cultivars that have deeper root systems and amended soils. Native landscaping requires less water and maintenance, and is more capable of absorbing rainwater runoff.

Eligibility:

- Must receive runoff from 400 square feet (800 square feet for commercial) of impervious area.
- Must be at least 50% Pacific Northwest native plants by plant count.

Considerations:

- New and young plants need water to grow strong roots. Watering is essential during the first two to three summers after native landscaping installation.

Resources:

- **[DIY Native Landscaping Guide](#)** ^(PDF, 6MB) (/files/sharedassets/public/public-works/surface-water/do-it-yourself-native-landscaping-guide.pdf)
- **[Native Landscaping Maintenance Guide](#)** ^(PDF, 7MB) (/files/sharedassets/public/public-works/surface-water/native-landscaping-maintenance-guide.pdf)
- **[King County Native Plant Finder](https://green2.kingcounty.gov/gonative/Plant.aspx?Act=search)** (<https://green2.kingcounty.gov/gonative/Plant.aspx?Act=search>)

Downspout Disconnection



What? Many downspouts connect our roof gutters to underground pipes that carry water to our local creeks and Lake Washington. Disconnecting your downspout from existing standpipes can be accomplished fairly easily with an elbow, pipe extension, and splash block.

Considerations:

- Disconnect no more than 700 square feet of roof area to a single downspout or splash-block.
- Downspouts should not be disconnected within 50 feet of steep slopes or landslide hazard areas.
- Downspouts should discharge at least 5 feet from your house foundation.

Resources:

- **[DIY Downspout Disconnection Guide](#)** ^(PDF, 4MB) **[\(//files/sharedassets/public/public-works/surface-water/kirkland-diy-downspout-disconnection-guide.pdf\)](#)**

Emergency Notice

City facilities are open as of August 2, 2021 for public in-person services, with the exception of fire stations that will remain closed to the public until further notice. Many city services are available online. Find more information as well as resources for businesses and residents here:

[COVID-19 Coronavirus Information \(https://www.kirklandwa.gov/Resident/Public-Safety/COVID-19-Coronavirus-Information\)](https://www.kirklandwa.gov/Resident/Public-Safety/COVID-19-Coronavirus-Information)



[Home \(https://www.kirklandwa.gov/Home\)](https://www.kirklandwa.gov/Home) / [Government \(https://www.kirklandwa.gov/Government\)](https://www.kirklandwa.gov/Government) / [Departments \(https://www.kirklandwa.gov/Government/Departments\)](https://www.kirklandwa.gov/Government/Departments) / [Public Works Department \(https://www.kirklandwa.gov/Government/Departments/Public-Works-Department\)](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department) / [Storm & Surface Water \(https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water\)](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water) / [Green Stormwater Infrastructure \(GSI\) \(https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI\)](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI) / [Yard Smart Rain Rewards \(https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards\)](https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI/Yard-Smart-Rain-Rewards) / [Yard Smart Frequently Asked Questions](#)

Yard Smart Frequently Asked Questions



Frequently Asked Questions

Is there a time limit to install a project?

All projects must be installed and rebate paperwork submitted by November 30, 2021 in order to receive a rebate.

Are there still rebate funds available?

Yes. 100% of rebate funds are available as of January 2021. Rebates will be issued to approved projects in the order that their approval forms are submitted. Projects will be added to a wait list for future funding if rebate funding runs out.

What if rebate funds run out before I can finish my project?

If your Yard Smart project is approved by City of Kirkland, we will ensure that there are rebate funds available for your project. If you submit your project approval forms after rebate funds have run out, we will add your project to a wait list in the order it was received in the event that additional funds become available.

Are there any earlier site visit appointments available?

We are thrilled by the high volume of interest Kirkland property owners have shown in Yard Smart Rain Rewards. Unfortunately, this high volume means that consultations earlier than what are shown on [Calendly](http://www.calendly.com/yardsmart) (<http://www.calendly.com/yardsmart>) are not available.

My downspouts are already disconnected and I am not eligible for Yard Smart funding. How can I be Yard Smart?

While your property is not eligible for the Yard Smart program, you may want to check out the Green Stormwater Infrastructure (GSI) Mini Grants program. This program provides up to \$1,500 for homeowners within the King County Wastewater Treatment Division (WTD)

service area that are not eligible for other incentive programs. Approved green infrastructure project types include rain gardens, cisterns, Grattix, green roofs and Depave projects. Please visit www.12000raingardens.org/gsi-mini-grants/ (<http://www.12000raingardens.org/gsi-mini-grants/>) for more information and to apply.

In your daily life, you can be Yard Smart by practicing **Natural Yard Care** (<https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/What-You-Can-Do-For-Clean-Water/Natural-Yard-Care>), installing **Green Stormwater Infrastructure** (<https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/Green-Stormwater-Infrastructure-GSI>) on you property, and **preventing water pollution at home** (<https://www.kirklandwa.gov/Government/Departments/Public-Works-Department/Storm-Surface-Water/What-You-Can-Do-For-Clean-Water>).

Report Spills and Flooding

Call our 24/7 pollution and flooding hotline
425-587-3900 (tel:4255873900)

Contact Us

For non-emergency drainage or stormwater concerns, visit

Yard Smart Program Contact

Aaron Hussmann

Education and Outreach Specialist

425-587-3857 (tel:4255873857)

yardsmart@kirklandwa.gov (mailto:yardsmart@kirklandwa.gov)



PROJECT STEPS

1. Get Started

- Read your site visit report.**
City staff will follow up within 1 week to answer any questions and provide guidance for next project steps.
- Choose a project to install.**
This can be one recommended project, or a combination of multiple recommended projects.

2. Build Your Project

- Decide on DIY project or hiring a contractor.**
If hiring a contractor, consider getting 3 bids.
If you're building the project yourself, read our installation guides in your project packet or online at www.kirklandwa.gov/yardsmart
- Submit Project Approval Form.**
City staff will approve your project within 2 weeks.
Approval may include requests for changes to your plan.
- Install your project.**
Be sure to save itemized receipts and proof of payment.

3. Get Your Rebate

- Have your project inspected.**
Contact City staff (yardsmart@kirklandwa.gov or 425-587-3857) to schedule your inspection.
This ensures your final installation matches the approved project plan.
- Complete rebate forms.**
These forms include the Project Rebate Form, W-9, and Maintenance Agreement.
- Get your rebate check!**
For Single-Family Homes:
75% of Project Costs up to \$3,000 for work done by contractors.
100% of Project Costs up to \$3,000 for DIY projects.
For Multi-Family Homes & Commercial Properties:
75% of Project Costs up to \$6,000

RAIN GARDENS



CISTERNS



NATIVE LANDSCAPING



Learn More

- Online** kirklandwa.gov/yardsmart
- Email** yardsmart@kirklandwa.gov
- Phone** (425) 587 - 3857



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Single-Family Properties

75% of project costs for work done by contractors.
100% of project costs for DIY projects.

Maximum Rebate **\$3,000**

Multi-Family and Non-Residential Properties

75% of project costs.

Maximum Rebate **\$6,000**

RAIN GARDENS

- ☐ ☐ **Roof area.** Rain gardens must drain a minimum roof area of 400 square feet for single-family or 800 square feet for multi-family or non-residential property.

CISTERNS

- ☐ ☐ **Roof area.** Cisterns must drain a minimum roof area of 400 square feet.
- ☐ ☐ **Capacity.** Cisterns must have a minimum capacity of 200 gallons.



NATIVE LANDSCAPING

- ☐ ☐ **Converted area.** Native landscaping must receive runoff from at least 400 square feet of impervious area, or 800 square feet for multi-family or non-residential property.

TREE PLANTING



Up to a \$150 Rebate per tree planted.
Trees must be approved prior to planting.

DOWNSPOUTS



\$50 Rebate per downspout disconnected.



Project plans must be reviewed and approved by City of Kirkland staff before installation in order to receive a rebate.

Please Note: Yard Smart Rain Rewards rebates may be considered income under federal tax law. You must complete IRS Form W-9 to receive your rebate.

Learn More

Online kirklandwa.gov/yardsmart
Email yardsmart@kirklandwa.gov
Phone (425) 587 - 3857



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YARD SMART RAIN REWARDS

RAIN GARDENS



Image Courtesy 12000raingardens.org

What?

Rain gardens are bowl-shaped gardens designed to collect and filter water from your roof, driveway, or patio. Rain gardens can be shaped and sized to fit your yard, are filled with a rich layer of mulch and compost to help water soak in, and are landscaped with a variety of plants that fit your yard, sun, and soil.

Why?




Every time it rains, water carries pollutants from our roofs, driveways, patios, and lawns, into the nearest storm drain, and into Forbes Creek and Lake Washington. During big storms, the amount of rainwater runoff can cause neighborhood flooding and erosion hazards.

Rain gardens help slow the flow of rainwater that floods our neighborhoods and creeks, and help filter water to prevent pollution.

Eligibility

- Roof area. Rain gardens must drain a minimum roof area of 400 square feet or 800 square feet for multi-family or non-residential property.

Benefits

-  **Beautify your Yard.** A rain garden can beautify your landscape and may increase property value.
-  **Create a Sanctuary.** Rain gardens filled with the site appropriate plants attract a variety of birds and pollinators like butterflies.
-  **Reduce Maintenance.** Once established, rain gardens require less maintenance and resources than traditional lawns or gardens.



Before After
Image Courtesy 12000raingardens.org

Be Yard Smart, Get Rain Rewards Rebates!

For Single-Family Homes:

75% of Project Costs up to \$3,000 for work done by contractors.

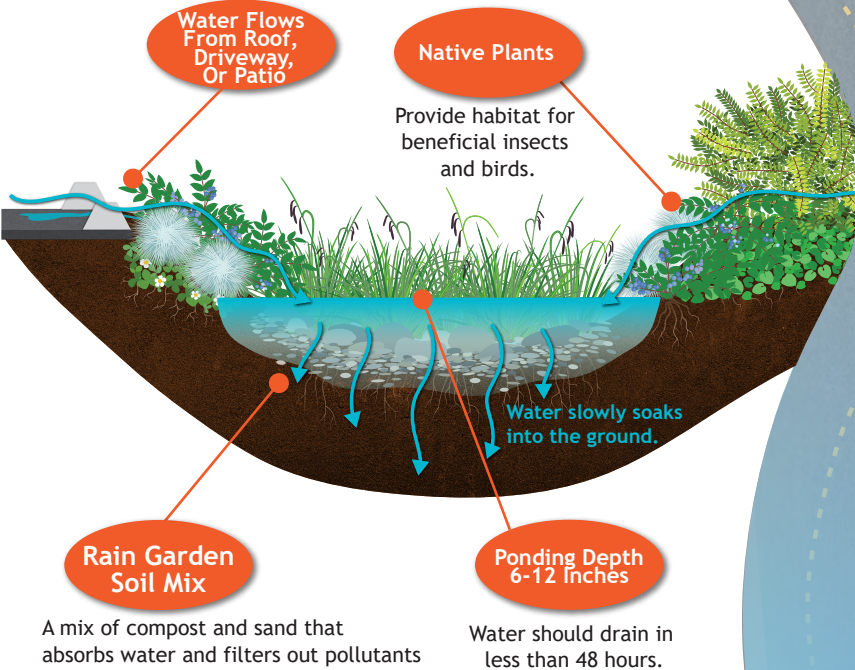
100% of Project Costs up to \$3,000 for DIY projects.

For Multi-Family Homes & Commercial Properties:






75% of Project Costs up to \$6,000



How do Rain Gardens work?



Considerations

-  Your property needs a fairly level yard with a slope less than 5%
-  Rain gardens need to be located away from large trees and at least 10 feet from your foundation.
-  Rain gardens need well-draining soils to allow water to soak in. An infiltration test will determine if a rain garden is right for your property.
-  Rain garden costs vary depending on site, labor, equipment, turf or pavement removal, size and number of plants, and complexity of garden.
-  Young plants need water to grow strong roots. Watering is important during the first two to three summers after you install your rain garden.

Rain Rewards Rebates Can Reduce Your Costs!

Steps

1. Project Design

Test your soils to ensure they are well-draining. Choose a location, planting plan, and drainage system into and out of the rain garden. This can be done DIY or with the help of a contractor.

2. Review & Approval

Complete a project approval form. City of Kirkland staff will approve or suggest changes to your plan within 2 weeks.

3. Construction & Installation

Hiring a contractor? Consider getting 3 bids. Whether DIY or through a contractor, save all itemized receipts and proofs of payment.

4. Final Review

Once your Rain Garden is finished, contact us for a final inspection.

5. Get Your Rebate

Fill out our Project Rebate Form, W-9, and Maintenance Agreement. Get Your Rebate Check!

6. Maintain Your New Rain Garden

Water your plants each summer, pull weeds by hand, and replace any dead or dying plants each fall.



Learn More

- Online** kirklandwa.gov/yardsmart
- Email** yardsmart@kirklandwa.gov
- Phone** (425) 587 - 3857



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YARD SMART RAIN REWARDS

CISTERNS

What?

A cistern is a large rain barrel that collects hundreds to thousands of gallons of water. Made of durable materials like metal, heavy plastic, or fiberglass, cisterns fill with water from your roof, gutters, and downspouts.





Why?

Every time it rains, water carries pollutants from our roofs, driveways, patios, and lawns, into the nearest storm drain, and into Forbes Creek and Lake Washington. During big storms, the amount of rainwater runoff can cause neighborhood flooding and erosion hazards.

Cisterns can help slow the flow of rainwater that floods our neighborhoods and creeks, and provide you with water to irrigate your lawn and garden each summer!

Eligibility

-  **Roof area.** Cisterns must drain a minimum roof area of 400 square feet.
-  **Capacity.** Cisterns must have a minimum capacity of 200 gallons.

Benefits



Easy to Maintain. Cisterns need simple maintenance 1-2 times each year.



Collects Water. Cisterns collect extra water that's free to use for your garden and lawn each summer.



Soaks In. Cisterns allow excess water to slowly release and soak into the ground, reducing flooding and preventing pollution from entering Forbes Creek.



Be Yard Smart, Get Rain Rewards Rebates!

For Single-Family Homes:

75% of Project Costs up to \$3,000 for work done by contractors.

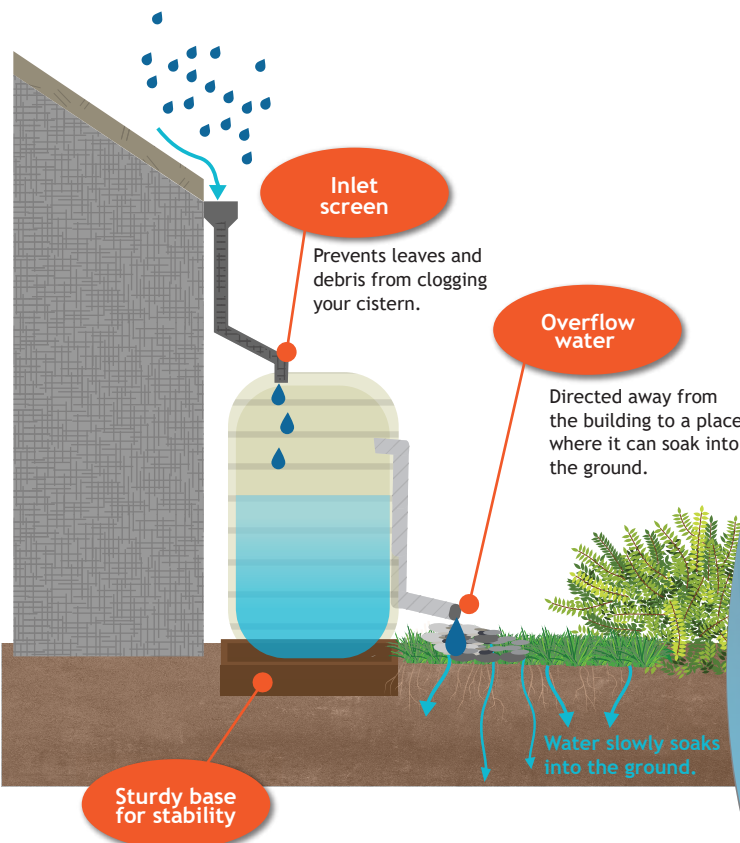
100% of Project Costs up to \$3,000 for DIY projects.

For Multi-Family Homes & Commercial Properties:

75% of Project Costs up to \$6,000





How do Cisterns work?




Cisterns have a drain valve that you can open or close. In the winter months, keep the drain valve open to allow heavy rains to fill the cistern and slowly drain out over time. In mid-May, close the drain valve so your cistern fills with water to be used for summer landscape irrigation.

Considerations

 Cistern overflow should be a minimum of 4 feet away from building foundations and overflow to your landscape, rain garden, or back to the downspout.

 Full cisterns can weigh thousands of pounds. Careful placement and a sturdy foundation will keep your cistern safe and secure.

 A dark colored tank and shaded location will limit algae growth, reduce maintenance needs, and extend the lifespan of your cistern.

Steps

1. Project Design

Decide how big of a cistern you need. Decide on cistern placement and overflow options. You can do this yourself or with the help of a contractor.

2. Review & Approval

Complete a project approval form. City of Kirkland staff will approve or suggest changes to your plan within 2 weeks.

3. Construction & Installation

Hiring a contractor? Consider getting 3 bids. Whether DIY or through a contractor, save all itemized receipts and proofs of payment.

4. Final Review

Once your Cistern is installed, contact us for a final inspection.

5. Get Your Rebate

Fill out our Project Rebate Form, W-9, and Maintenance Agreement. Get Your Rebate Check!

6. Maintain Your New Cistern

Clean your tank each year by hosing out and brushing. Clean your gutters and check your cistern screen at least once a year.



Learn More

Online kirklandwa.gov/yardsmart

Email yardsmart@kirklandwa.gov

Phone (425) 587 - 3857



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YARD SMART RAIN REWARDS



NATIVE LANDSCAPING



What?

Native landscaping replaces traditional lawns or impervious surfaces with a thick mulch layer and native plants to beautify your yard and reduce polluted rainwater runoff. Native landscaping uses less water and requires less maintenance than traditional lawns or gardens, and creates a healthy, attractive yard.

Why?

Every time it rains, water carries pollutants from our roofs, driveways, patios, and lawns, into the nearest storm drain, and into Forbes Creek and Lake Washington. During big storms, the amount of rainwater runoff can cause neighborhood flooding and erosion hazards.

Native landscaping soaks up rainwater to help prevent flooding in our yards and neighborhoods, and helps filter pollutants to provide clean water for Forbes Creek.

Eligibility

- Converted area. Native landscaping must replace a minimum 400 square feet of traditional lawn, invasive weeds, or impervious area, or 800 square feet for multi-family or non-residential property.

Benefits



Create a Sanctuary. Native Landscaping attracts beneficial insects and birds.



Low Maintenance. Native Landscaping means less watering, no mowing, and more time to relax.



Soaks In. Native landscaping allows excess water to slowly release and soak into the ground, reducing flooding and preventing pollution from entering Forbes Creek.



Be Yard Smart, Get Rain Rewards Rebates!

For Single-Family Homes:

75% of Project Costs up to \$3,000 for work done by contractors.

100% of Project Costs up to \$3,000 for DIY projects.

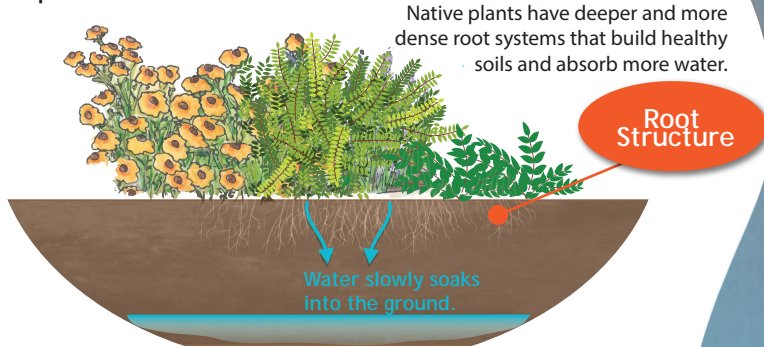
For Multi-Family Homes & Commercial Properties:

75% of Project Costs up to \$6,000



What is Native Landscaping?

Native plants are adapted to our Pacific Northwest environment, are drought-resistant, and don't require fertilizer.



Plant Ideas

Low Oregon Grape

A low shrub, blooms with yellow flowers and purple fruits.



Swordfern

Very adaptable, a stately groundcover and Pacific Northwest favorite.



Vine Maple

Famous for fall color, excellent at holding soil.



Showy Fleabane

A summer blooming perennial with purple petals and yellow center.



Considerations



Young plants need water to grow strong roots. Watering is essential during the first two to three summers after native landscape installation.

Steps

1. Project Design

Decide on an area to convert to native landscaping and create a plant list of your favorite native plants. You can do this yourself or with the help of a contractor.

2. Review & Approval

Complete a project approval form. City of Kirkland staff will approve or suggest changes to your plan within 2 weeks.

3. Construction & Installation

Hiring a contractor? Consider getting 3 bids. Whether DIY or through a contractor, save all itemized receipts and proofs of payment.

4. Final Review

Once your native landscaping is installed, contact us for a final inspection.

5. Get Your Rebate

Fill out our Project Rebate Form, W-9, and Maintenance Agreement. Get Your Rebate Check!

6. Maintain Your New Landscape

Water your plants each summer, pull weeds by hand, and replace any dead or dying plants each fall.



Learn More

Online kirklandwa.gov/yardsmart
Email yardsmart@kirklandwa.gov
Phone (425) 587 - 3857



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YARD SMART RAIN REWARDS

DOWNSPOUT DISCONNECTION

What?

Many downspouts connect our roof gutters to underground pipes that carry water to our local creeks and Lake Washington. Disconnecting your downspout from existing standpipes can be accomplished fairly easily with an elbow, pipe extension, and splash block.



Why?

Disconnecting downspouts helps keep roof runoff from carrying pollutants to our local waters, and helps prevent flooding. Done correctly, disconnected downspouts direct water away from your house toward a landscaped area where rainwater can soak into the ground naturally.





Disconnecting downspouts helps prevent flooding in our neighborhoods, and helps filter pollutants to provide clean water for Lake Washington.

Benefits



Low Maintenance. Once disconnected, downspouts are easy to maintain and can provide irrigation to your landscape.

Eligibility

-   **Roof area.** Route no more than 700 square feet of roof area to a single splash-block.
-  **No steep slopes.** Downspouts should not be disconnected within 50 feet of steep slopes or landslide hazard areas.
-  **Space.** Downspouts must discharge more than 5 feet from property lines, and 10 feet from buildings.



Be Yard Smart, Get Rain Rewards Rebates!

City of Kirkland will rebate **\$50 per downspout** disconnected. Formal approval is required before disconnection in order to receive rebate.

Learn
More

Online

kirklandwa.gov/yardsmart

Email

yardsmart@kirklandwa.gov

Phone

(425) 587 - 3857





TREE PLANTING REBATES

What?

City of Kirkland provides rebates up to \$150 per tree and a maximum rebate of \$500 per property to cover the costs of trees, compost, and mulch.



Why?

Trees help prevent flooding in our neighborhoods, provide shade for our homes and help filter pollutants to provide clean water for Lake Washington. Trees catch rainfall on their leaves, needles, and branches, slowing down the flow of rainwater. Their roots allow rainwater to more easily filter into the soil, and they absorb water and transpire it through their leaves or needles back into the atmosphere.

Details

- ☐ ☐ **Space.** Trees should be planted 10 feet from underground utilities and permanent buildings, 20 feet from street lights or other trees, and 30 feet from street corners. Trees near power lines should grow to less than 25 feet tall.
- ☐ **Size.** Trees must be a species that reaches 15 feet tall and has a canopy at least 10 feet wide at maturity.
- ☑ **Appropriate.** Trees must be selected from approved list provided by City of Kirkland and be appropriate for your site.

Steps

- 1) Participants must take and pass Kirkland's **online tree planting course**.
- 2) Sign and submit a maintenance agreement **prior to purchasing or planting trees**.
- 3) Purchase and plant your tree. Trees must be purchased from the **approved list** provided after your online tree course.
- 4) Submit the online rebate form. You'll need a W-9, photo of planted tree(s), proof of payment and itemized receipts, photo of nursery tag from tree(s).



Learn More

Online - kirklandwa.gov/treerebate

Email - ahussmann@kirklandwa.gov



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Contractor List

The firms below perform landscaping services eligible for the Yard Smart Rain Rewards program. City of Kirkland makes no recommendations whatsoever regarding these firms.

You are not required to use a contractor from this list.

We recommend getting 3 bids before hiring a contractor.

POTENTIAL CONTRACTORS

	Native Landscaping Design	Native Landscaping Installation	Rain Garden Design	Rain Garden Installation	Cistern Installation
Cascadia Edible Landscapes www.eatyouryard.com michael@eatyouryard.com (206) 708-9298	●	●	●	●	●
Classic Nursery & Landscape Co. www.classicnursery.com info@classicnursery.com (425) 885-5678	●	●	●	●	●
Dig In LLC jodylynnanderson@msn.com (206) 550-2962	●	*Can also help purchase plants for DIY projects			
Dirt Corps LLC www.thedirtcorps.com info@thedirtcorps.com	●	●	●	●	●
Elemental Landscapes www.elemental206.com elemental206@gmail.com (206) 953-8152	●	●	●	●	●
Environmental Construction Inc. www.envconst.com info@envconst.com (425) 803-3988	●	●	●	●	●
Greencliff Landscape Co. www.greencliff.net crane@greencliff.net (206) 650-7096	●	●	●	●	●
Greenridge Landscape dba Wolfe's Landscaping www.greenridgellc.com greenwolfes@gmail.com (425) 743-1481	●	●	●	●	



The firms below perform landscaping services eligible for the Yard Smart Rain Rewards program. City of Kirkland makes no recommendations whatsoever regarding these firms.

You are not required to use a contractor from this list.

We recommend getting 3 bids before hiring a contractor.

POTENTIAL CONTRACTORS

	Native Landscaping Design	Native Landscaping Installation	Rain Garden Design	Rain Garden Installation	Cistern Installation
Headwaters Landworks headwaterslandworks@gmail.com (425) 802-7221	●	●	●	●	●
Justin's Landscaping justinslandscaping.business.site jhowell3600@gmail.com (206) 390-1463	●	●	●	●	●
Lumo Landscape Design LLC www.lumolandscape.com lumolandscape@gmail.com (206) 349-7092	●	●	●	●	●
Malone's Landscape www.maloneslandscape.com info@maloneslandscape.com (253) 638-2080	●	●	●	●	●
Rain Dog Designs www.raindogdesigns.com/wordpress raindogdesigns@gmail.com (253) 459-3539	●	●	●	●	●
Satoyama Gardens www.satoyamagardens.com aaron@satoyamagardens.com (971) 212-3953	●	●	●	●	●
Thriving Garden Design Inc. www.thriving-garden.com thriving.gardens@gmail.com (206) 326-9732	●	●	●	●	●

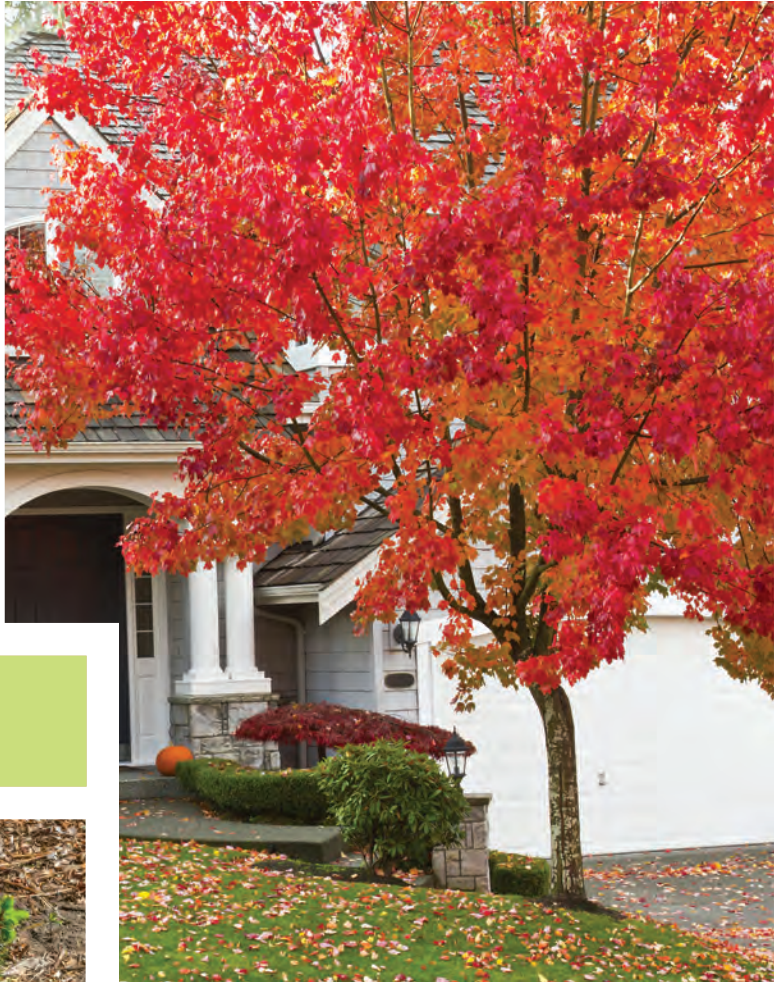
[Learn More](#)

[Online kirklandwa.gov/yardsmart](http://kirklandwa.gov/yardsmart)

[Email yardsmart@kirklandwa.gov](mailto:yardsmart@kirklandwa.gov)

[Phone \(425\) 587 - 3857](tel:(425)587-3857)

Planting trees creates a canopy, or “umbrella” of leaves that helps provide shade and reduces the intensity of rainfall before it hits the ground. It is an easy, affordable way to help the environment.



CHOOSE YOUR TREE
CHOOSE THE RIGHT PLACE
PLANT YOUR TREE

DIY TREE PLANTING

CHOOSE YOUR TREE

Things to consider when choosing your tree:

1. **Tree function.** Why are you planting the tree? What functions will it serve?

- **Evergreen trees** keep their leaves all year and are good for privacy, wind breaks and shading hot areas.
- **Deciduous trees** lose their leaves every year and provide shade in the summer while allowing for winter sun.
- A tree that produces **fruit can provide food** for you or wildlife.
- Trees can provide **visual interest** – flowers in the summer or spring, fall leaf color, beautiful winter bark.



2. **Form and size.** Selecting the right shape and size of tree reduces maintenance and increases your tree's value for the landscape.

- **Height.** Will the tree bump into anything when fully grown?
- **Canopy spread.** How wide will the tree grow?
- **Tree shape.** A columnar tree will grow in less space while round and v-shaped trees provide the most shade. Select a tree shape that complements what you would like the tree to do for your landscape.
- **Root space.** How close is your house foundation, sidewalk, or driveway? You can expect that roots will grow at least as wide as the canopy of the tree and will stay near the surface of the soil.



3. **Soil, sun and moisture conditions** of your site. Selecting a tree that will thrive in your site's conditions is the key to long-term tree survival and reduced maintenance.

4. **Health.** Pick a healthy tree from the nursery with a strong central trunk, balanced shape, no signs of damage.



Vase



Oval



Pyramidal



Columnar



Round

CHOOSE THE RIGHT PLACE

Carefully selecting a location for your new tree helps ensure that it will be healthy and survive for years to come without excessive maintenance or causing trouble for your property's infrastructure.

Make sure you have enough room for the tree to grow.

Make sure you select a location with adequate room to grow - both below ground for roots and above ground for the crown. Consider the mature height, canopy spread, and root spread of your tree when thinking about a location.

- Plant your tree on private property, not in the right of way.
- **Avoid utilities.** Locate trees at least 10 feet from underground utilities and plant smaller trees (less than 25 feet when fully grown) under power lines.

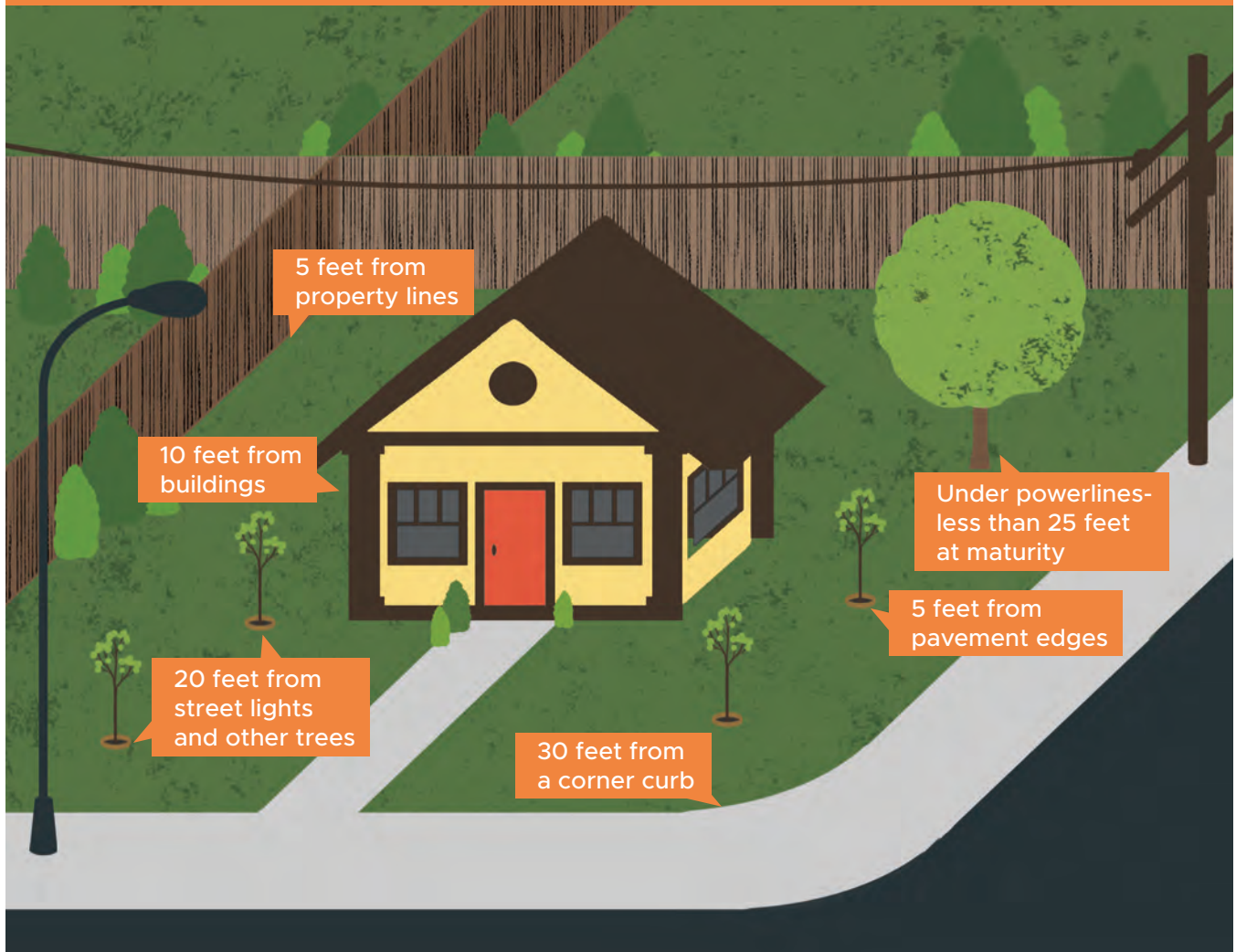
CALL BEFORE YOU DIG!

**CALL 811 OR VISIT
CALLBEFOREYOUTDIG.ORG
TO REQUEST A FREE
UTILITY LOCATE.
IT'S FREE AND IT'S THE
LAW.**



LOCATION, LOCATION, LOCATION!

TREE SHOULD BE PLANTED AT LEAST:



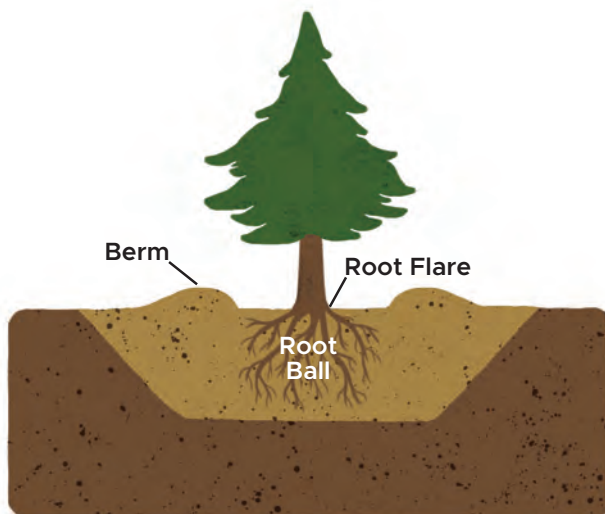
PLANT YOUR TREE

When to plant

- Trees and woody shrubs are ideally planted in the fall to support root establishment before the spring growing season
- Avoid planting in the summer or when the ground is frozen

STEPS:

1. **Clear the area.** Remove material (sod, weed, mulch) from planting area to expose soil.
2. **Dig a shallow, wide planting hole.** Measure the height of the root ball. Dig a hole that is as deep as the height of the root ball and 2-3 times the width.
3. **Remove the tree from its container.** Lay the tree on its side and push on the sides of the container to loosen the root ball from the sides of the container. Carefully remove the tree from the container keeping the soil around the roots intact. Don't yank the tree out of the container by the trunk as this can separate the roots from the tree.
4. **Locate the root flare.** Remove any excess soil piled on top of the root flare (or root collar) of your tree – the widened base of the main stem just above where the roots start.



5. **Massage the roots.** Massage the roots on all sides, including the bottom, so they are loose and ready to grow out horizontally. Straighten or remove circling roots. If the tree is really root bound and the roots are circling around the edges of the container, cut an X across the bottom of the root ball and then 4 vertical slices along the sides of the root ball with a sharp-edged trowel.
6. **Remove any nursery stakes or tags.** These will not help support your new tree and will only cause harm to your tree as it grows.
7. **Place tree in the hole.** Make sure the trunk is straight – have someone view the tree from several directions to confirm that it is straight. In the hole, the root flare of your tree should be visible just above the ground.
8. **Fill the hole.** Backfill around the root ball with original soil, breaking up any large chunks and gently packing the soil between roots. Use the remaining soil to create a berm (a low ring of dirt) outside the root ball perimeter.
9. **Water.** Water thoroughly right after planting to help remove air pockets.
10. **Mulch.** Spread 2-3" deep ring of mulch or arborist wood chips around the base of your tree, keeping it about a hands-width away from your new tree.



Kirkland Public Works -
Surface Water Division

www.kirklandwa.gov/stormwater



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Disconnecting downspouts from pipes in the street helps keep roof runoff from carrying pollutants to our local waterways and helps prevent flooding. Done correctly, disconnected downspouts direct water away from your house toward a landscaped area where rainwater can soak into the ground.



DIY DOWNSPOUT DISCONNECTION



READY TO DISCONNECT YOUR DOWNSPOUT?

Develop a plan to ensure that the water soaks into the ground without damaging your house or neighboring properties.

Remember these key tips:

- Figure out where your downspouts drain – do they go to a pipe in the street, to a nearby stream, or somewhere else?
- If your downspouts already connect to an infiltration trench or drywell, you're all set! No need to disconnect.
- Make sure the ground slopes away from your buildings and neighboring property lines (and no steeper than 15%). Don't flood sidewalks, basements, or your neighbors.
- Provide enough space for rain to safely soak into the ground. Yard area must be at least 10% of the roof area that drains to downspout (i.e., 500 square feet of roof needs at least 50 square feet of yard).

- Downspout extensions must be directed to at least:
 - ✓ 5 feet from buildings with crawlspaces
 - ✓ 10 feet from buildings with basements
 - ✓ 5 feet from property lines
 - ✓ 10 feet from neighboring buildings
 - ✓ 50 feet from steep slopes
- Slow and spread the flow from downspout with a splash block, rock, or perforated pipe.
- Hire a contractor, if needed, to advise you or to do the work.
- Contact Kirkland Public Works at 425-587-3800 with questions regarding your downspout disconnection plan.

MATERIALS YOU'LL NEED

TOOLS FOR PROJECT

Hacksaw



Drill



Needle-nose pliers or crimpers



Tape measure



Screwdriver



SUPPLIES FOR PROJECT

Downspout elbow (that fits your downspout)



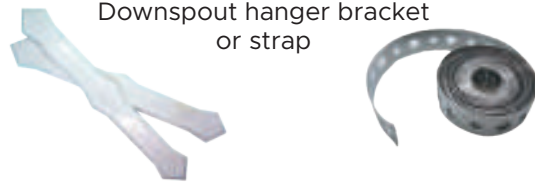
Downspout extension (that fits downspout elbow)



Cap with hose clamp for standpipe (or expansion plug with wingnut, if cap doesn't fit)



Downspout hanger bracket or strap



Sheet metal screws

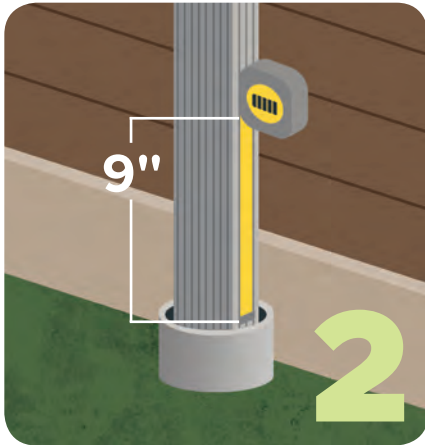


Splash block, rock, or perforated pipe

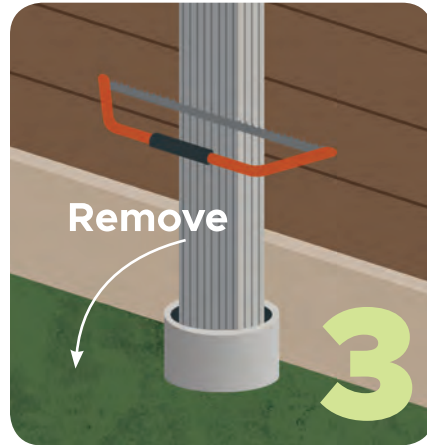


HOW TO DISCONNECT YOUR DOWNSPOUT

1. Safety first! Put on work gloves and eye protection.



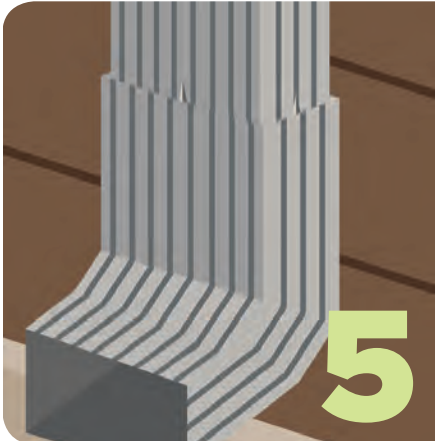
2. Measure the existing downspout from the top of the standpipe (the pipe going into the ground) and mark it at about 9 inches above the standpipe. You may need to cut the downspout higher depending on the length of your extension.



3. Cut the existing downspout with a hacksaw at the mark – hold onto the short piece so it doesn't fall into the pipe. Remove the cut piece from the end of the standpipe.



4. Plug or cap the standpipe using an expansion plug or an over-the-pipe cap secured by a hose clamp. Measure the inside diameter of the pipe and ask at the hardware store for the right size. Do NOT use concrete to seal your standpipe.



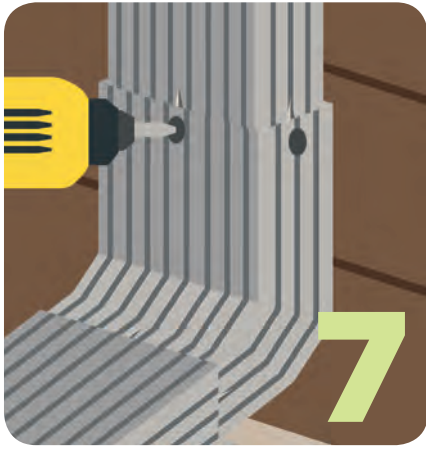
5. Attach the elbow. Be sure to attach the elbow OVER the downspout. Do NOT insert the elbow up inside the downspout or it will leak. If the elbow does not fit over the downspout, use crimpers or needle-nose pliers to crimp the end of the cut downspout so it slides INSIDE the elbow.



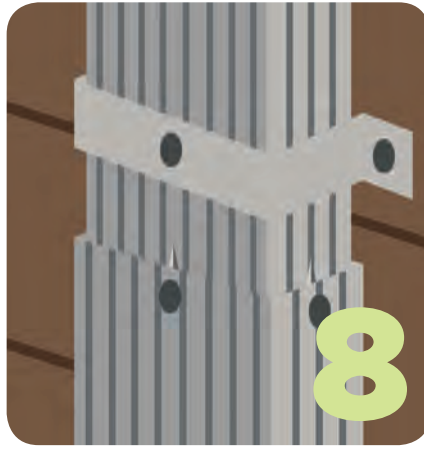
6. Measure and cut the downspout extension to the desired length. Attach the extension to the elbow by slipping the extension OVER the end of the elbow. Do NOT install the elbow over the extension or it will leak. The length of the extension will depend on site conditions and where you want the downspout to drain.

✓ Downspouts must drain at least 10 feet from basement walls and at least 5 feet from crawlspaces and concrete slabs.

✓ The end of the downspout must be at least 5 feet from your property line.



7. Secure the pieces with sheet metal screws at each joint where the downspout, elbow, and extension connect. You only need to use 2 screws per joint. Never put any screws on the bottom of the parts because it will leak. It helps to pre-drill holes for the screws.



8. Add a new hanger bracket around the downspout above the cut, if needed to support the downspout and the new elbow and pipe you are adding.



9. Add a splashblock, rock or perforated pipe at the end of the pipe extension to slow the flow and spread runoff into landscaping.

MAINTENANCE



Proper maintenance of your gutters and downspouts can reduce problems. At least twice a year you should:

- Clean roof gutters. This is especially important if you have overhanging trees.
- Check downspouts, elbows, and extensions for blockages.
- Repair any damage or visible leaks at connection points.
- Ensure gutters drain into your downspouts.



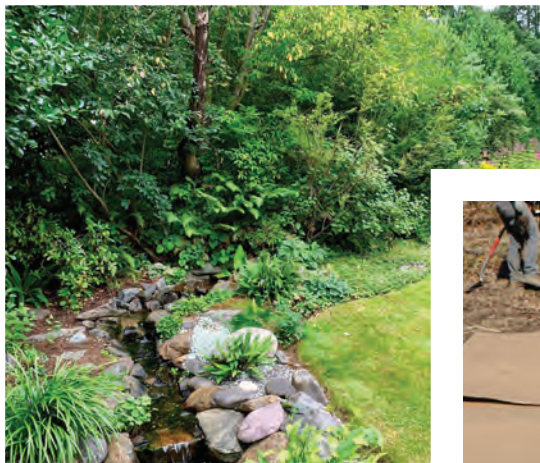
**Kirkland Public Works -
Surface Water Division**
www.kirklandwa.gov/stormwater

Disclaimer: This sheet contains general guidance only, which may not be appropriate or safe for every property. You assume the risk and are responsible for all consequences of your modifications to drainage flow on your property, for legal compliance, and for necessary permits and authorizations. The City of Kirkland is not responsible for your modifications and disclaims liability for your actions.



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ASSESS
DESIGN
INSTALL



DIY NATIVE LANDSCAPING

DIY NATIVE LANDSCAPING



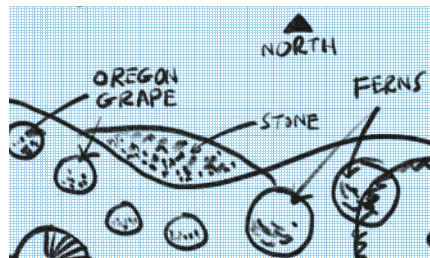
Native landscaping is the removal of less permeable surfaces in your yard— such as patios or lawns - and replacing them with native plants and cultivars that have deeper root systems

and amended soils. Native landscaping benefits the environment by improving water quality, preserving native plant species, and providing wildlife and pollinator habitat.

Use this guide as a resource to help you plan and install native landscaping for your yard. The process includes 3 steps:



1 ASSESS
YOUR SITE
CONDITIONS



2 DESIGN
YOUR
PROJECT



3 INSTALL
YOUR
PROJECT



STEP 1 - ASSESS YOUR SITE CONDITIONS

Before adding native landscaping to your yard, take a closer look and assess the growing conditions so you can choose the right plants for the right places. Use the form at the end of this section to take notes on your site assessment.

Think about why you want to use native landscaping. *Is it to:*

- Capture rainwater runoff from your roof?
- Attract wildlife (birds, butterflies, etc.)?
- Block winter winds?
- Create focal points or views that can be enjoyed from your home?
- Shade your home?
- Grow edible plants?

Are there any restrictions on where you can place native landscaping?

- Will you have access to water for your plants?
- What other space needs do you have in your yard?
- Are there existing tree roots, buildings, or other structures in your project area?
- Are there critical area restrictions, utility easements, or HOA restrictions in your project area?

Check out your existing vegetation. *As you develop your project plan, be sure to note what's already growing in your yard.*

- Do you already have trees or plants in your project area that are providing an environmental benefit?
- Note any invasive weeds on your site. You'll be most successful if you identify individual weed types and plan to manage accordingly. (Weed ID and proper management practice information - Kingcounty.gov/weeds.)

CALL BEFORE YOU DIG!

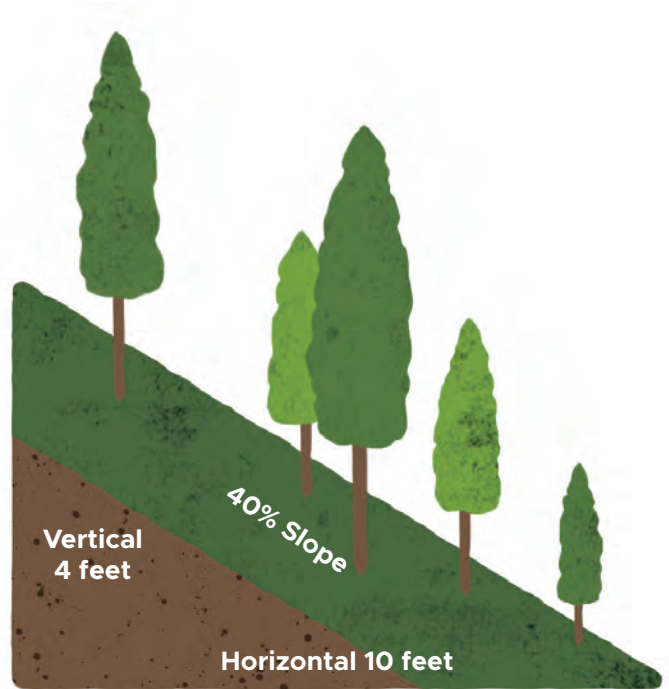
**CALL 811 OR VISIT
WWW.CALLBEFOREYOUTDIG.ORG
TO REQUEST A FREE UTILITY LOCATE.
IT'S FREE AND IT'S THE LAW.**

☐ **Observe how well water drains in your proposed project area.** *This information will help you determine which plants are most likely to thrive in your site's soil moisture conditions.*

- Does the soil tend to be wet or dry?
- Does it drain well or is there standing water after heavy rainfall?

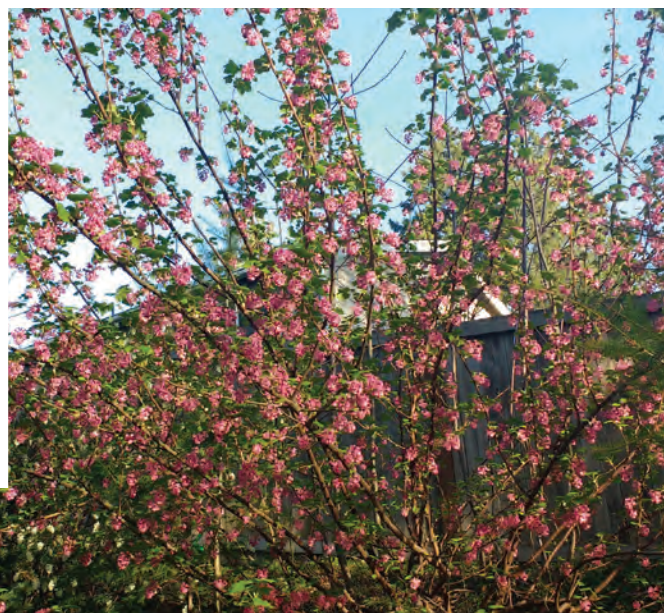
☐ **Note the topography of your project area.** *Slope is an important aspect of site planning. Plants can be used to stabilize slopes, or native groundcover can be used as a low-maintenance alternative to lawn on a slope. Also, steep slopes can often drain water quickly, need drought tolerant plants, and may require erosion control.*

- Is your site relatively flat? Does it have a moderate or steep slope?



STEEP SLOPES ARE DEFINED AS 15 PERCENT OR STEEPER.

IF YOU ARE UNSURE IF YOUR SLOPE IS STABLE, CONSULT THE CITY, A GEOLOGIST, OR GEOTECHNICAL ENGINEER FOR HELP.



☐ **Observe light conditions in your project area.** *Most plants have specific light requirements – sun dependent, shade dependent, or part sun/part shade.*

- Observe your area at different times of day and determine if it is:
 - ◆ Full sun – direct sunlight most of the day (6 or more hours)
 - ◆ Part sun or part shade – a half day of sun or shade (4-6 hours)
 - ◆ Shady – little or no direct sunlight (less than 2 hours)
- Remember that existing trees, your house, and other structures cast shade.

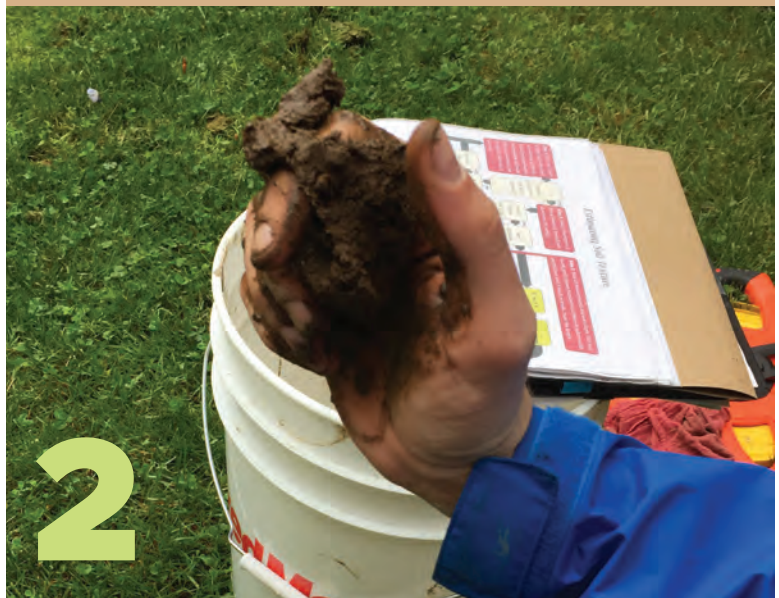


❑ **Get to know your soils.** *Soil conditions can be greatly impacted by past construction activities. Dig small holes about a foot deep at a few different spots in your project area to learn more about your yard's soils.*

- **Soil texture.** Soil texture refers to the proportion of sand, silt and clay particles that make up your soil. You can find out your soil texture by conducting a “ribbon test.” Moisten a sample of soil enough to make it into a ball. Form a ribbon by squeezing the soil between your thumb and finger.
 - ◆ If the soil forms a ribbon up to 2 inches long, you have clay soil.
 - ◆ If the soil falls apart easily and does not make a ribbon, then you have sandy soil.
 - ◆ If the soil forms a ribbon about 1 inch long, you have loamy soil, which is considered the ideal soil condition.
- **Organic matter.** Note the color of your soil. The darker your soil, the richer it is in organic matter and contains more nutrients for plants. Lighter colored soil may need to be amended with compost before planting.
- **Soil compaction.** How hard is it to dig in your yard? Is the soil soft and fluffy or is it hard and compacted? Compacted soils may need to be tilled and amended with compost before planting.



SOIL TEXTURE RIBBON TEST



SITE ASSESSMENT NOTES

PROJECT GOALS:

SITE RESTRICTIONS:

Check all that apply to your site:

EXISTING VEGETATION	<input type="checkbox"/> None (bare soil)	<input type="checkbox"/> Weeds	<input type="checkbox"/> Lawn
	<input type="checkbox"/> Native plants	<input type="checkbox"/> Ornamental plants	
DRAINAGE	<input type="checkbox"/> Dry	<input type="checkbox"/> Wet	<input type="checkbox"/> Moderate
TOPOGRAPHY	<input type="checkbox"/> Flat	<input type="checkbox"/> Moderate slope	<input type="checkbox"/> Steep slope
LIGHT	<input type="checkbox"/> Sun	<input type="checkbox"/> Shade	<input type="checkbox"/> Partial sun/shade
SOIL TYPE	<input type="checkbox"/> Clay	<input type="checkbox"/> Loam (mix of sand & clay)	<input type="checkbox"/> Sand
SOIL COLOR	<input type="checkbox"/> Light	<input type="checkbox"/> Dark	
SOIL COMPACTION	<input type="checkbox"/> No compaction	<input type="checkbox"/> Moderate compaction	<input type="checkbox"/> Highly compacted



STEP 2 - DESIGN YOUR PROJECT

Once you know more about your site conditions and defined your goals, you can design your project. Use the information you gathered to choose plants that will flourish in your site's conditions.

☐ **Define your planting area.** *Use a garden hose, rope or other flexible material to help you outline/ visualize your planting area. Measure the area that you wish to convert to native landscaping.*

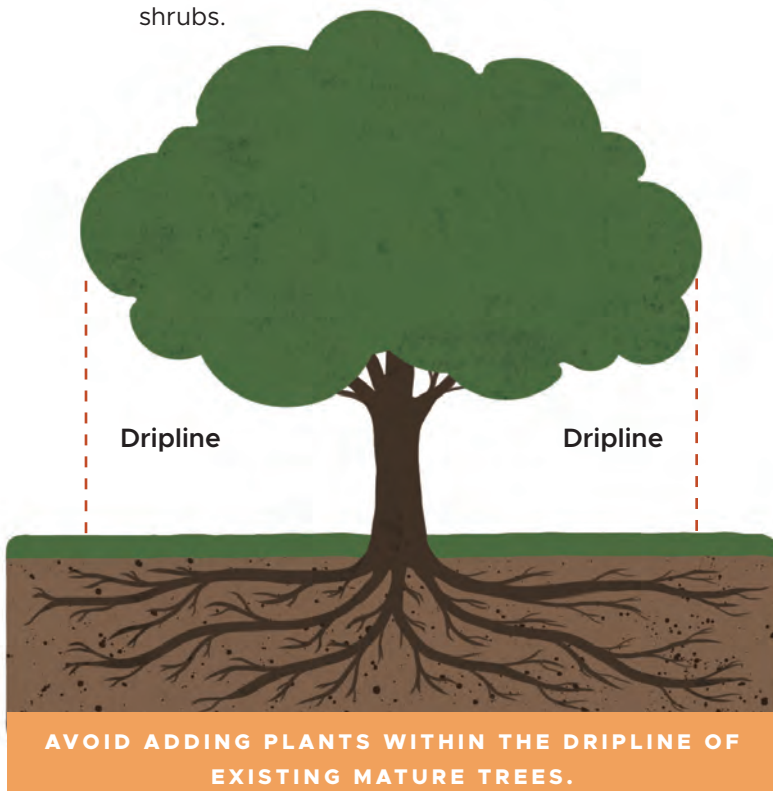
☐ **Choose your plants.**

- Choose plants that are appropriate for your site conditions (plant needs match sun and water conditions). Find links to plant lists in the Resources section of this guide.
- Consider budget, ease of care, compatibility with neighboring plants, aesthetics.
- Ensure you have appropriate space for the full-grown size of the plants.
- Example planting templates appropriate for a variety of site conditions can help you get started. green2.kingcounty.gov/gonative/Plan.aspx



□ **Develop your planting plan.**

- **Choose a scale.** On grid paper, one grid square per one foot in your yard should work for most sites. For larger sites, use one grid square for 2-5 feet, depending on the size of the site. Record the scale that you are using on the grid paper.
- **Draw your planting area on the grid paper.** Include permanent structures and existing plants that will remain on site. As needed, measure these to the nearest foot and add to your plan.
- **Add your plants to your plan.**
 - ◆ **Lay out the trees first.** Make sure to give them enough space. Draw tree circles 15 feet in diameter at your plan's scale. Shrubs and groundcovers can be included within and overlap a tree circle but other trees should not.
 - ◆ **Now lay out the shrubs.** Draw shrub circles 6 feet in diameter at your plan's scale. Group them together in clusters according to species. Remember the school photo rule - tall plants in the back, short plants in the front.
 - ◆ **Now add in the groundcover and perennials.** Draw groundcover circles 3 feet in diameter at your plan's scale. Use these to fill in around the trees and shrubs.



KEEP A FEW THINGS IN MIND AS YOU THINK ABOUT WHERE TO PLACE PLANTS IN YOUR LANDSCAPE:

› **Size and spacing.**

As you draw your plan, keep in mind that every plant gets larger and changes shape as it gets older. Give each plant enough space to grow without being crowded out by other plants. You may be surprised at how few plants are needed for your project.

› **Guidelines for plant spacing:**

- ✓ Trees – 15 to 20 feet on center
- ✓ Shrubs – 6 to 8 feet on center
- ✓ Groundcover – 3 to 4 feet on center

› **Plant arrangement.**

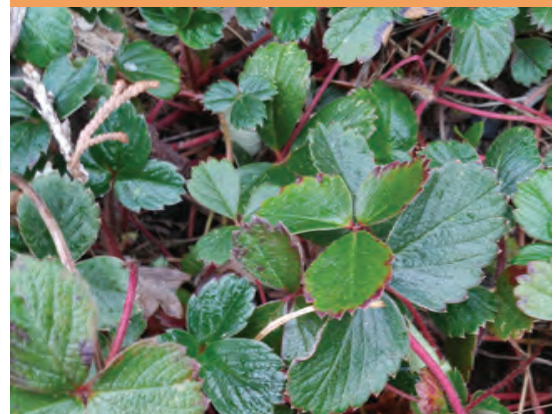
Consider the mature height of plants – keep taller plants in the back, shorter plants in the front of planting bed.

› **Consider aesthetics.**

Clump same species and same color together in clusters of 3 to 5 plants. This helps create a more natural look for your landscape.

› **Consider existing structures.**

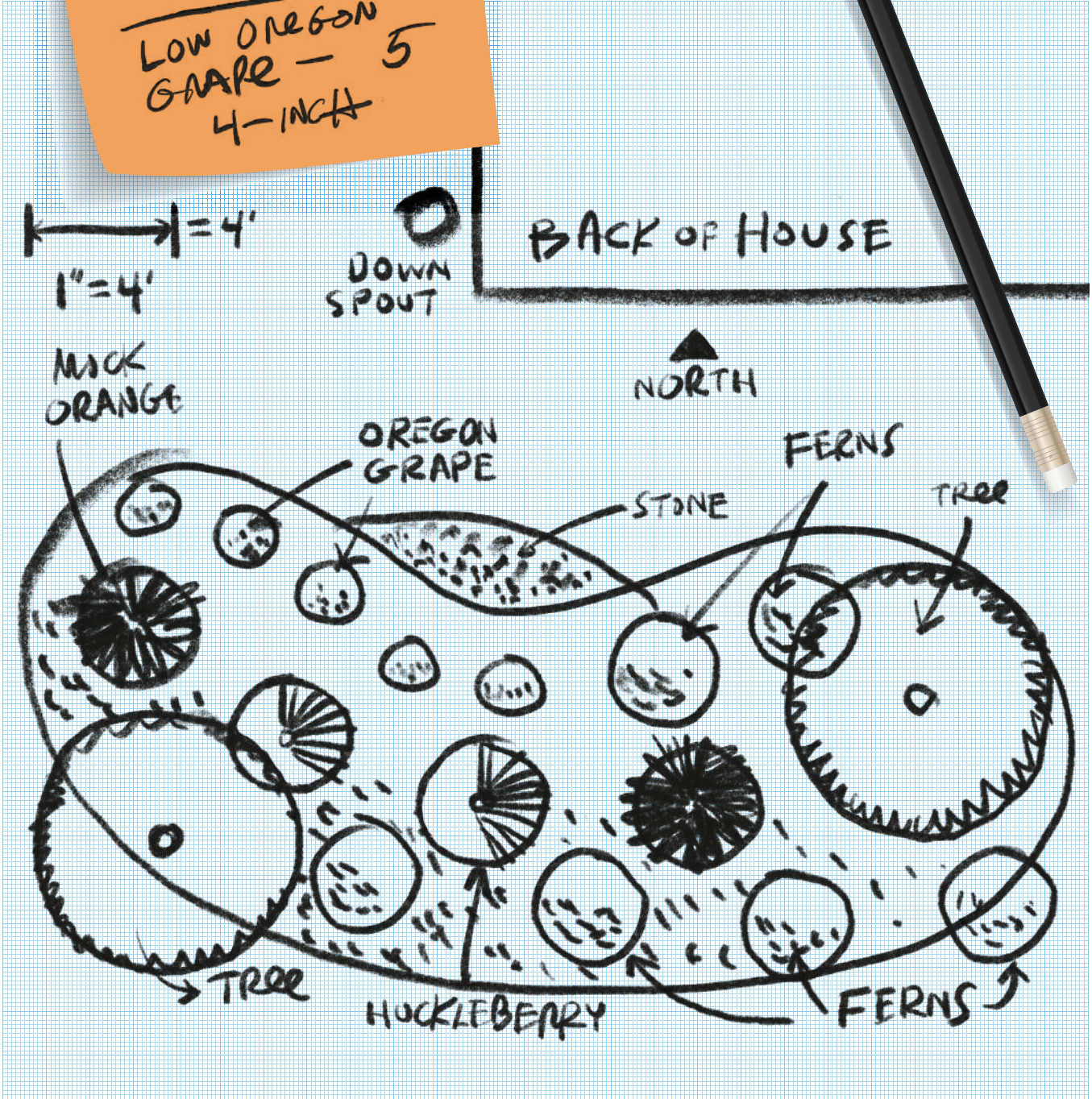
Consider the mature width of plants. Do not place too close to walkways, driveways, house or other structures. This will save you the effort of extra pruning in the future.



SWORD FERN - 6
MOCK ORANGE - 2
EVEN. HUCKLEBERRY - 2
1 GAL. EACH

LOW OREGON
GRAPE - 5
4-INCH

Make a plant list.
List species, size,
number of plants
that you used in
your planting plan.



☐ Plan to improve your soil.

Mulch and compost increase your soil's capacity to hold and filter water while building healthy soil that will help your plants thrive.

- **Mulch.** Mulch is any material placed around plants to prevent weeds and conserve water. Coarse wood chip mulch is the best. It can usually be purchased from any topsoil and compost supplier or procured for free from arborists. “Beauty bark” or other shredded bark products make a poor mulch substitute. Shredded bark does not retain moisture as well and will NOT prevent weed seeds from germinating around your newly installed plants.
- **Compost (if needed).** Adding compost will greatly improve your soil in areas that are highly compacted, and where soils are low in organic matter.
 - ◆ Do you have compacted or poor soils? Plan to till highly compacted soils prior to planting.
 - ✓ Use a shovel or rototiller to loosen soils in your planting area. Rototillers can be rented from home improvement or equipment rental stores.
 - ✓ Dig or till in 2- 3 inches of compost into the loosened soil.



HOW MUCH MULCH DO I NEED?

- Plan to lay a 3-inch or thicker layer of mulch in your planting area.
- Mulch is measured by the cubic yard. To figure out how many cubic yards you need, follow the formula below:

Project area (sq ft) X Planned mulch depth (inches) ÷ 324 = # of cubic yards of mulch



HOW MUCH COMPOST DO I NEED?

- Compost is sold by the cubic yard. To figure out how many cubic yards you need, follow the formula below:

Project area (sq ft) X Planned compost depth (inches) ÷ 324 = # of cubic yards of compost

FREE SOURCES OF MULCH:

- LEAVES AND BRANCHES FROM YOUR YARD
 - WOOD CHIPS FROM LOCAL TREE SERVICES.
- CONTACT LOCAL ARBORISTS OR VISIT
[HTTPS://GETCHIPDROP.COM/](https://getchipdrop.com/)



STEP 3 - INSTALL YOUR PROJECT

Plan to install your native landscaping project between late fall and early spring. Trees and woody shrubs are ideally planted in the fall to support root establishment before the growing season. Avoid planting in the summer or when the ground is frozen.

□ Site preparation

Clear planting area

- Turf removal

- ◆ Use a shovel to dig out grass. Make sure you remove the roots of the existing grass and weeds so they do not grow back.
- ◆ Use a sod cutter (manual or powered) to slice off thin horizontal layers of sod. Sod cutters can be rented from equipment rental companies or home improvement stores.
- ◆ Turf can also be removed through sheet mulching - see next page for details.



- **Weed removal**
 - ◆ Use weeding tools to remove plants by hand - dig out plants and roots entirely (including seeds, fruits and leaves).
 - ◆ The best time to remove weeds is prior to flowering. If removal occurs after flowering, cut off and dispose of flowers before digging out roots. Dug-out materials should be disposed of in yard waste and, in the case of some noxious weeds, the trash. Do not use weed materials for mulch.
 - ◆ If the soil is dry, water well to moisten soil and make digging easier.
- **Sheet mulching** – This is an easier but slower way to prepare an area for planting. You are not removing grass or weeds with this method. You pile layers of cardboard with mulch to kill the plants beneath. It is appropriate for flat areas without much foot traffic. You can sheet mulch at any time, but the best time to sheet-mulch is the spring – the weeds and grass should be dead by fall and ready for planting.



SHEET MULCHING STEPS

› Gather your materials.

At a minimum, you'll need enough cardboard (tape and staples removed) to cover your project area with room to overlap pieces and enough woody mulch to cover the cardboard in at least a 2-inch deep layer. You can also add a layer of compost on top of the cardboard and then cover the compost with mulch.

› Prepare your site.

Mow grass or other vegetation to the lowest level possible. Knock down or remove weeds. Flag any sprinkler heads. Soak the area to jumpstart the decomposition process.

› Lay down your cardboard.

Lay cardboard over project area from one end of the space to the other. Be sure to overlap cardboard pieces by at least 6 inches. Once the cardboard is in place, wet it down until it becomes heavy and limp so it takes the shape of the ground below and doesn't shift around. Work around existing plants by ripping and folding the cardboard – much easier to do when it's wet.

› Add organic materials.

Just adding mulch? Spread a layer at least 2 inches thick on top of cardboard. If you're also using compost, spread it in a 2-inch layer and then cover the compost with your mulch.

› Wait before planting.

Wait 3 months or longer before planting. For each planting hole, pull aside the woodchips before digging each plant in. Then, rake wood chips back around each plant.

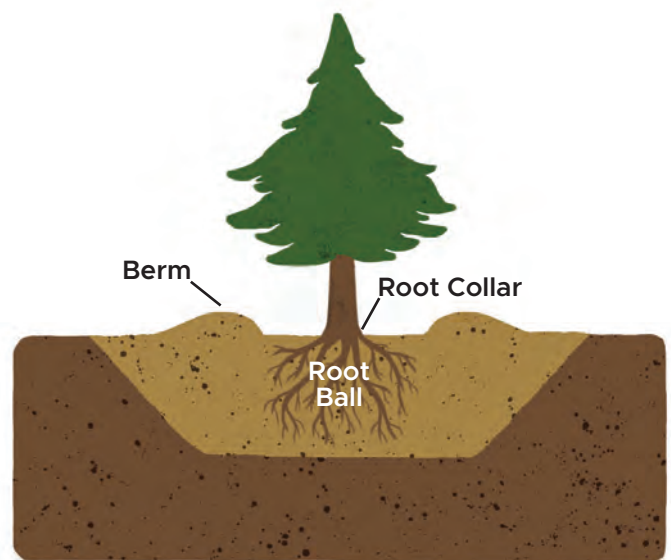
De-compact and amend soils

- Use a shovel or rototiller to break up compacted soils.
- While breaking up soils, be sure to avoid damaging the roots of existing native plants. Most plant roots are in the top 12” of the soil, so it’s best to work around them. Stay out of the dripline of trees and shrubs as much as possible.
- Compost can be worked into the topsoil by hand or rototiller.



Installing plants

- Lay out plants or use flags to mark the location of each plant.
- Dig a hole for each plant twice the width and as deep as the container soil, but not any deeper than the root ball or plant container height.
- Remove plant from container and massage the root ball to spread roots loosely. Prune or straighten circling roots - roots that circle the bottom and sides of the root ball can later girdle the tree as the trunk attempts to grow outward.
- Place the plant in the hole and ensure that the root collar (widened base of stem just above where roots start) is level with the ground.
- Backfill around the root ball with original soil, breaking up any large chunks and gently pushing down soil as you go, to prevent air pockets.
- Use remaining soil to form a berm (a low ring of dirt) outside the root ball perimeter to hold water around the plant.
- Water immediately to settle soil.
- Once everything is planted, add mulch to your planting area. Avoid placing mulch directly onto plant stems – pull mulch away from the stems to create a ring around the base of plants.



SOILS

Growing Healthy Soil <https://snohomishcountywa.gov/DocumentCenter/View/7257/Growing-Healthy-Soil?bidId=>. A guide for getting to know your soil and how to improve its health.

SHEET MULCHING

How to Sheet Mulch <http://lawntogarden.org/how-to-sheet-mulch>. Collection of resources for sheet mulching, including a step-by-step guide.

Sheet Mulching: How to Smother Weeds, Build Soil & Conserve Water the Easy Way <https://modernfarmer.com/2016/05/sheet-mulching/>. Article on the basic steps of sheet mulching.

PLANT GUIDES

Great Plant Picks www.greatplantpicks.org. Plant lists for a variety of site conditions. Includes list of recommended Northwest native plants.

Native Plant Guide (King County) www.kingcounty.gov/gonative. Browse or search a database of native plants, find native plants appropriate for your site conditions, check out example native landscaping plans for various site conditions.

Rain Garden Handbook for Western Washington. Appendix A - Selected Plants for Rain Gardens in Western Washington. <https://fortress.wa.gov/ecy/publications/documents/1310027.pdf#page=70>. List of native and non-native plants appropriate for rain gardens – also appropriate for native landscaping in a variety of growing conditions.

Plant Lists by Habitat (WNPS) <https://wnps.org/native-gardening/resources#habitat>. Lists of native plants appropriate for a variety of habitat conditions.

King County Noxious Weeds www.kingcounty.gov/weeds. Weed identification photo index, information on weeds and weed management, and educational opportunities.

NATIVE PLANT NURSERY LISTS

Native Plant and Seed Source List (Washington Native Plant Society) https://www.wnps.org/content/documents/plants/gardening/native-plant-seed-sources_5-14-2019.pdf

Native Plant Nursery List (King Conservation District) http://kingcd.org/wp-content/uploads/2018/05/Native_Plant_Nurseries_Sheet_2018.pdf

PROJECT PLANNING & INSTALLATION

City of Bellevue Critical Areas Handbook – Restoring, Enhancing, and Preserving https://development.bellevuewa.gov/UserFiles/Servers/Server_4779004/File/pdf/Development%20Services/ca_handbook.pdf.

Step-by-step guide to aid in development, installation, monitoring and maintenance of small-scale environmental enhancement and restoration projects.





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Photo Credits: Tracy Durnell (p. 1, 4, 8, 9, 12, 14, 15, 16); Chris Hendrickson (p. 1, 2, 3, 11, 15); Dana Nunnally (p. 6); Julie O’Donald (p. 1, 2, 4); Sharon Rodman (p. 1, 8, 16); Green Kirkland Partnership (p. 1, 2, 8, 11, 12, 13, 14, 15); Tilth Alliance (p. 14); Africa Studio, Courtesy of Shutterstock (p. 16).



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Kirkland Public Works - Surface Water Division
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CARING FOR YOUR YOUNG TREE

The first 3 years are critical for the establishment of your tree. Proper watering, mulching, and other tree care will help ensure a healthy mature tree and reduce future maintenance costs.



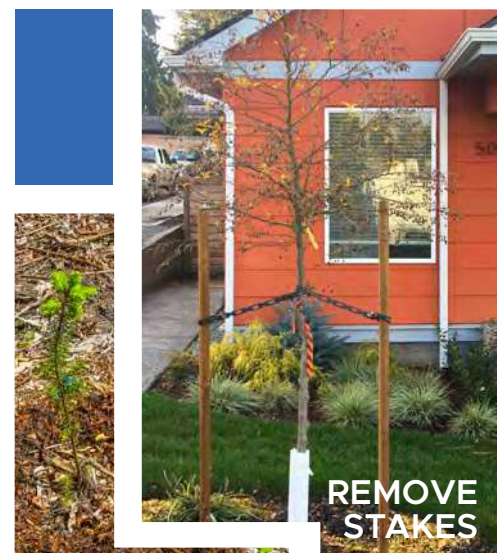
WATER YOUR TREE FOR AT LEAST 2 YEARS.

Young trees require regular watering for good health and disease prevention. Deep watering will encourage your tree to grow a robust root system.

- Give your tree 15 gallons (slowly), once or twice a week throughout the summer.
 - › Water should always be applied slowly. Use a 5-gallon bucket with holes drilled in the bottom, a garden hose set on low for 30 minutes, or a tree water bag.
- Check soil for proper watering 4 to 6 inches below the surface. Soil should feel damp, not dry or saturated.

REMOVE ANY STAKES OR SUPPORTS

installed with your tree within one year of planting. Test if stakes are ready to be removed by grasping the base of the tree trunk and gently shaking it. If the soil around the tree does not move, the roots have stabilized the tree. The stakes can then be removed. **DO NOT leave stakes on longer than necessary** – if the trunk is larger than the stakes, the stakes should be removed.



MAINTAIN A MULCH RING.

Mulch keeps soil moist, limits weed growth, and protects tree trunks from lawnmower and weed-eater injuries.

- Use organic matter such as wood chips or fallen leaves.
- Maintain a 3 to 6-inch thick mulch layer, extending at least as far as the drip line. As the tree continues to grow larger throughout its life, its dripline will move further out, requiring a larger circle of mulch.
- Keep mulch a hands-width away from tree trunk.



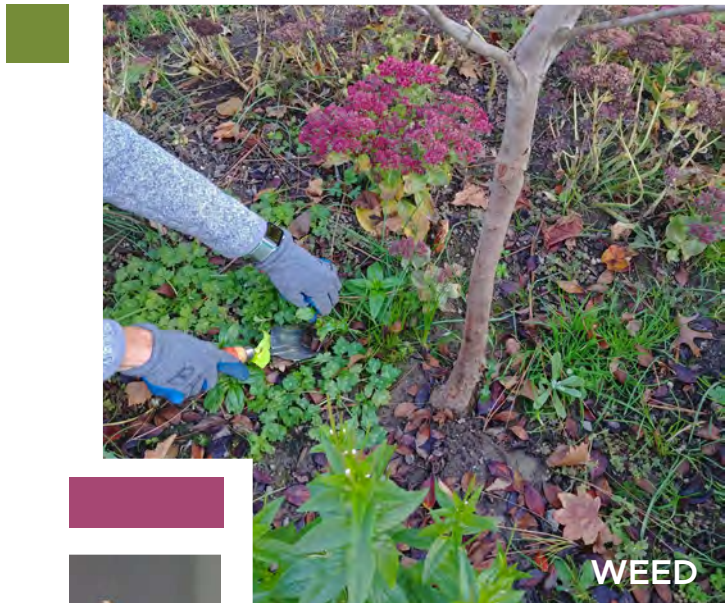
WEED AROUND YOUR TREE.

Grass and weeds compete with the tree for water and nutrients.

- Remove any competing plants, such as grass and weeds, within at least 2 feet of the tree's trunk.

PRUNE.

Pruning of newly planted trees should be limited to the removal of dead or broken branches. All other pruning should not occur until the second or third year, when a tree has recovered from the stress of transplanting. For information about proper pruning, please contact the Garden Hotline at 206-633-0224 or visit www.gardenhotline.org.



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CARING FOR YOUR NATIVE LANDSCAPE



WEED

Weeds can outcompete your young plants and spread quickly.

- Monitor your garden regularly for weeds. It's easier to pull young weeds before they go to seed or start spreading.
- Pull weeds by hand or with your favorite weeding tool. Remove entire weed, including roots.
- Weeds should be disposed of in yard waste and, in the case of some noxious weeds, the trash. Do not use for mulch or in backyard compost bin. Visit www.kingcounty.gov/weeds for noxious weeds disposal information.
- Avoid the use of herbicides in your landscaping.
- When?
 - › Weed as necessary, especially when the soil is moist, to make digging easier.
 - › The best time to remove weeds is prior to them flowering and going to seed. If removal occurs after flowering, cut off and dispose of flowers before digging out roots.

MULCH

Mulch keeps soil moist, limits weed growth, and keeps soil temperature warmer in winter and cooler in summer.

- Add mulch, as needed, to maintain at least a 3-inch deep layer. Be sure to keep mulch pulled away from the stems of your plants to prevent rot.
- Wood chips and leaves are great mulch materials. Woodchips can be purchased from any topsoil supplier and are often available for free from arborists.
- When?
 - › Annually, early spring or fall



WATER

Young plants need water to grow strong roots. Deeper, infrequent watering will help your plants to establish deeper, healthier roots.

- Water deeply enough to moisten your plants' whole root zone (top 6-12 inches of soil). To check, dig in with a trowel an hour after watering to check the depth of moisture.
- Apply water slowly enough so soil can absorb it without running off.
- Consider using soaker hoses or drip irrigation on garden beds.
- Use a timer to water just the right amount.
- When?
 - › Water when the weather is dry and warm, during the first few growing seasons.
 - › Water in the early morning or evening to reduce evaporation.
 - › Let the top few inches of soil dry between soakings.



YEAR 1	Water every 3-4 days.
YEARS 2 & 3	Water once or twice per week. The frequency and length of watering depends on soil conditions.
AFTER YEAR 3	Plants should be established and may need watering once or twice per month, more often if they show signs of stress.



PRUNE

Pruning of newly planted plants should be limited to the removal of dead or broken branches. All other pruning should not occur until the second or third year, when plants have recovered from the stress of transplanting. For information about proper pruning, please contact the Garden Hotline at 206-633-0224 or visit www.gardenhotline.org.



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COMMON GARDEN WEEDS

CREeping BUTTERCUP



BITTERCRESS (SHOTWEED)



HIMALAYAN BLACKBERRY



ENGLISH IVY

HERB ROBERT



DANDELION

HEDGE BINDWEED (MORNING GLORY)



RESOURCES

- King County Noxious Weeds – www.kingcounty.gov/weeds
- Garden Hotline – www.gardenhotline.org

CARING FOR YOUR CISTERN

Cisterns need seasonal maintenance to ensure that they continue to function properly.



AUGUST/SEPTEMBER

- Inspect your entire cistern system (cistern, gutters, pipes, fittings, etc.) to ensure it is functioning properly.
- Clean your cistern
 - › Drain all water and sediment from your cistern.
 - › Spray water down inside of cistern to remove built-up algae and sediment.
- Clear any blockages in your valve system and replace parts as needed.

SEPTEMBER

- Open the low-flow valve**
 - › Open the valve to allow cistern to slowly drain to your landscape or downspout.
 - › Leave the valve open through the winter.



SEPTEMBER - MAY

- ❑ Check screen, spigot and valves weekly.
- ❑ Remove leaves and other debris from the screen at the top of the cistern and the overflow pipe to allow water to flow freely.
- ❑ Be sure to inspect and clean roof gutters.



MAY

- ❑ **Close the low-flow valve**
 - Close the valve to save water for your yard.
 - Use the water you have collected in your cistern to irrigate your landscaping.



Photo credits: Rain Dog Designs/David Hymel (p. 1, 2)



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TREE LIST

City of Kirkland Staff Recommendations



This list of tree recommendations is intended as a starting point to help guide you on your search for a tree for your landscape. The more information you have about your landscape's conditions and a tree's specific needs before you purchase a tree, the better. By creating a plan and selecting trees wisely, you'll avoid costly errors, reduce maintenance, and enjoy a beautiful, healthy yard.



Japanese Stewartia



Grand Fir






















Katsura Tree

Please note that all trees might not be readily available. If you cannot find a specific tree from this list, consult the staff at your local tree nursery. They might be able to offer advice on alternatives that would work well in your yard's growing conditions.























Key

Full sun  Part to full sun  Full sun to full shade  Shade 

Deciduous  Evergreen  Fall color-yes  Flowers-yes 

SHORT TREES Less than 30' tall (requires 20'- 30' spacing)												Japanese Stewartia
Common name	Botanical name	Deciduous/ Evergreen	Native?	Mature Height (ft)	Mature Width (ft)	Growth rate	Exposure - Sun/part/ shade	Drought Tolerant?	Shape	Flowers?	Fall color?	Notes
Dogwood	<i>Cornus spp</i>	varies		varies	varies	varies			varies			Many species and varieties
Japanese Maple	<i>Acer palmatum</i>			25	25	slow						Attractive foliage
Japanese Snowbell	<i>Styrax japonicus</i>			25	25	slow		Yes				Fragrant, showy flowers
Japanese Stewartia	<i>Stewartia pseudocamellia</i>			25	12	slow		Yes				Attractive peeling bark
Vine Maple	<i>Acer circinatum</i>		Yes	20	20	moderate		Yes	multi-stem			


























MEDIUM TREES 30' to 50' tall (requires 30'- 40' spacing)												Katsura Tree
Common name	Botanical name	Deciduous/ Evergreen	Native?	Mature Height (ft)	Mature Width (ft)	Growth rate	Exposure - Sun/part/ shade	Drought Tolerant?	Shape	Flowers?	Fall color?	Notes
Eastern Redbud	<i>Cercis canadensis</i>			35	25	moderate		Yes				Showy flowers
Katsura Tree	<i>Cercidiphyllum japonicum</i>			40	40	slow						Heart-shaped leaves
Little-Leaf Linden	<i>Tilia cordata</i>			30	20	moderate						Fragrant, showy flowers
Pacific Dogwood	<i>Cornus nuttallii</i>		Yes	35	20	moderate		Yes				Fragrant, showy flowers
Paperbark Maple	<i>Acer griseum</i>			30	25	slow						Attractive peeling, reddish bark



TALL TREES

Over 50' tall (requires 40'-50' spacing)

Tulip Tree
















Common name	Botanical name	Deciduous/ Evergreen	Native?	Mature Height (ft)	Mature Width (ft)	Growth rate	Exposure - Sun/part/ shade	Drought Tolerant?	Shape	Flowers?	Fall color?	Notes
Dawn Redwood	<i>Metasequoia glyptostroboides</i>			70	25	fast						Fine, feathery leaves
Garry Oak	<i>Quercus garryana</i>		Yes	50	40	slow		Yes				Reddish-brown acorns, attractive gray bark
Grand Fir	<i>Abies grandis</i>		Yes	100	30	moderate						Glossy, dark green needles
Red Oak	<i>Quercus rubra</i>			60	45	fast		Yes				Brown acorns, excellent fall foliage
Tulip Tree	<i>Liriodendron tulipifera</i>			60	30	fast		Yes				Tulip-shaped flowers
Western Red Cedar	<i>Thuja plicata</i>		Yes	50	25	moderate		Yes				Graceful, spreading branches



NARROW TREES

10' to 20' wide (requires 20'-30' spacing)

Eastern Red Cedar

Common name	Botanical name	Deciduous/ Evergreen	Native?	Mature Height (ft)	Mature Width (ft)	Growth rate	Exposure - Sun/part/ shade	Drought Tolerant?	Shape	Flowers?	Fall color?	Notes
Eastern Red Cedar	<i>Juniperus virginiana</i>			40	20	moderate		Yes				Gray to reddish-brown peeling bark
Hinoki Cypress	<i>Chamaecyparis obtusa</i>			25	15	moderate						Attractive red peeling bark
Incense Cedar	<i>Calocedrus decurrens</i>			40	15	moderate		Yes				Dark green, fragrant leaves
Mountain Hemlock	<i>Tsuga mertensiana</i>		Yes	30	18	slow		Yes				Narrow, asymmetrical shape
Serbian Spruce	<i>Picea omorika</i>			60	20	moderate						Thin arching branches, slender trunk





Grand Fir



Pacific Dogwood

RESOURCES

City of Kirkland Trees and Landscaping Page

https://www.kirklandwa.gov/depart/planning/Topics/Trees_and_Landscaping.htm

Tree and landscaping resources for Kirkland, including recommended tree and plant lists.

Great Plant Picks

<https://www.greatplantpicks.org/>

Lists of trees and other landscape plants for a variety of site conditions. Includes list of recommended Northwest native plants.

King County Native Plant Guide

<https://green2.kingcounty.gov/gonative>

Browse or search a database of native plants, find native plants appropriate for your site conditions, check out example native landscaping plans for various site conditions.

Arbor Day Foundation

<https://www.arborday.org/trees>

A variety of tree-related resources including tree identification and tree selection guidance.



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Department of Ecology Tree List

Table V-11.3: Recommended Newly Planted Tree Species for Flow Control Credit

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
Large Group					
<i>Abies grandis</i>	Grand Fir	100	35	Grows at 0-1500 m in moist conifer forests.	Y
<i>Abies procera</i>	Noble Fir	90	30		N
<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	50	40		N
<i>Acer macrophyllum</i>	Big Leaf Maple	100	80	Very large native.	Y
<i>Acer platanoides</i> 'Emerald Queen'	Emerald Queen Norway Maple	50	40		N
<i>Acer saccharum</i> 'Bonfire'	Bonfire Sugar Maple	50	40	Fastest growing sugar maple.	N
<i>Acer saccharum</i> 'Commemoration'	Commemoration Sugar Maple	50	35	Resistant to leaf tatter.	N

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
Acer saccharum 'Legacy'	Legacy Sugar Maple	50	35	Limited use - where sugar maple is desired in standard planting strips	N
Aesculus flava	Yellow Buckeye	70	40	Yellow flowers - least susceptible to leaf blotch - large fruit	N
Alnus rubra	Red Alder	70	35	Nitrogen fixing.	Y
Cercidiphyllum japonicum	Katsura Tree	40	40	Needs lots of water when young	N
Fagus sylvatica	Green Beech	50	40	Silvery-grey bark.	N
Fagus sylvatica 'Asplenifolia'	Fernleaf Beech	60	60	Beautiful cut leaf	N
Fraxinus latifolia	Oregon Ash	60	35	Only native ash in PNW.	Y
Fraxinus pennsylvanica 'Urbanite'	Urbanite Ash	50	40	Tolerant of city conditions.	N
Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffeetree	50	35	Very coarse branches - extremely large bi-pinnately compound leaf.	N
Liriodendron tulipifera	Tulip Tree	60	30	Fast-growing tree.	N
Nothofagus antarctica	Antarctic Beech	50	35	Rugged twisted branching and petite foliage.	N
Picea sitchensis	Sitka Spruce	100	30	Native environment is characterized by cool, moist maritime climate.	Y
Pinus monticola	Western White Pine	100	35	Occurs in lowland fog forests or on moist mountain soils - primary host.	Y
Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetre	50	40	More anthracnose resistant - needs space.	N
Platanus x acerifolia 'Yarwood'	Yarwood London Planetree	50	40	High resistance to powdery mildew.	N
Psuedotsuga menziesii	Douglas Fir	150	35		Y
Quercus bicolor	Swamp White Oak	45	45	Shaggy peeling bark.	N
Quercus coccinea	Scarlet Oak	50	40	Best oak for fall color.	N

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
<i>Quercus garryana</i>	Oregon Oak	45	40	Native to Pacific Northwest.	Y
<i>Quercus imbricaria</i>	Shingle Oak	60	50	Nice summer foliage - leaves can persist throughout the winter.	N
<i>Quercus muhlenbergii</i>	Chestnut Oak	60	50	Coarsely toothed leaf.	N
<i>Quercus robur</i>	English Oak	50	40	Large, sturdy tree.	N
<i>Quercus rubra</i>	Red Oak	50	45	Fast growing oak - needs space.	N
<i>Quercus velutina</i>	Black Oak	60	50		N
<i>Thuja plicata</i>	Western Red Cedar	125	40	Growth is stunted on dry soils.	Y
<i>Tsuga heterophylla</i>	Western Hemlock	130	30		Y
<i>Ulmus 'Homestead'</i>	Homestead Elm	60	35		N
<i>Ulmus 'Pioneer'</i>	Pioneer Elm	60	50	Resistant to Dutch elm disease.	N
<i>Ulmus parvifolia 'Emer II'</i>	Allee Elm	50	35	Exfoliating bark and nice fall color.	N
<i>Zelkova serrata 'Greenvase'</i>	Green Vase Zelkova	50	40	Vigorous.	N
Medium/Large Group					
<i>Acer campestre</i>	Hedge Maple	30	30		N
<i>Acer campestre 'Evelyn'</i>	Queen Elizabeth Hedge Maple	35	30	More upright branching than the species.	N
<i>Acer miyabei 'Morton'</i>	State Street Maple	45	30		N
<i>Acer platanoides 'Parkway'</i>	Parkway Norway Maple	40	25	Tolerant of verticillium wilt.	N
<i>Acer pseudoplatanus 'Atropurpureum'</i>	Spaethii Maple	40	30	Leaves green on top purple underneath.	N
<i>Acer saccharum 'Green Mountain'</i>	Green Mountain Sugar Maple	45	35	Reliable fall color.	N
<i>Aesculus x carnea</i>	Briottii' Red Horsechestnut	30	35	Resists heat and drought better than other horsechestnuts	N
<i>Betula albosinensis var septentrionalis</i>	Chinese Red Birch	45	35	White/pink peeling bark.	N

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
<i>Betula jacquemontii</i>	Jacquemontii Birch	40	30	White bark makes for good winter interest - best for aphid resistance.	N
<i>Betula papyrifera</i>	Paper Birch	60	35	High susceptibility to aphid infestation.	Y
<i>Chamaecyparis pisifera</i>	Sawara Cypress	45	25	Special site approval needed-many cultivars available.	N
<i>Corylus colurna</i>	Turkish Filbert	40	25	Tight, formal, dense crown - not for high pedestrian areas.	N
<i>Eucommia ulmoides</i>	Hardy Rubber Tree	50	40	Dark green shiny leaves.	N
<i>Fagus sylvatica</i> 'Rohanii'	Purple Oak Leaf Beech	50	30	Attractive purple leaves with wavy margins.	N
<i>Fraxinus americana</i> 'Autumn Applause'	Autumn Applause Ash	40	25	Compact tree - reportedly seedless.	N
<i>Fraxinus americana</i> 'Empire'	Empire Ash	50	25	Use for areas adjacent to taller buildings when ash is desired.	N
<i>Fraxinus pennsylvanica</i> 'Patmore'	Patmore Ash	45	35	Extremely hardy, may be seedless.	N
<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	45	35	Narrow when young.	N
<i>Halesia monticola</i>	Mountain Silverbell	45	25	Attractive small white flower.	N
<i>Koelreuteria paniculata</i>	Goldenrain Tree	30	30	Midsummer blooming.	N
<i>Liquidambar styraciflua</i> 'Rotundiloba'	Rotundiloba Sweetgum	45	25	Only sweetgum that is entirely fruitless. Smooth rounded leaf lobes.	N
<i>Magnolia denudata</i>	Yulan Magnolia	40	40	6" fragrant white blossoms in spring.	N
<i>Metasequoia glyptostroboides</i>	Dawn Redwood	50	25	Fast growing deciduous conifer.	N
<i>Nyssa sylvatica</i>	Tupelo	60	20	Handsomely chunky bark.	N
<i>Phellodendron amurense</i> 'Macho'	Macho Cork Tree	40	40	Male selection - fruitless - another good variety is 'His Majesty'.	N

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
Pinus nigra	Austrian Pine	45	25	Special site approval needed - fairly tolerant of heat, pollution, urban	N
Pinus pinea	Italian Stone Pine	40	30	Special site approval needed.	N
Populus tremuloides	Quaking Aspen	50	30		Y
Pyrus calleryana 'Aristocrat'	Aristocrat Pear	40	30	Good branch angles - one of the tallest pears.	N
Quercus frainetto	Italian Oak	50	30	Drought resistant.	N
Quercus robur 'fastigiata'	Skyrocket Oak	40	15	Columnar variety of oak.	N
Salix lasiandra	Pacific Willow	40	30		Y
Sophora japonica 'Regent'	Japanese Pagodatree	50	40	Can have trunk canker or twig blight.	N
Taxodium distichum	Bald Cypress	5	30	A deciduous conifer.	N
Taxodium distichum 'Mickelson'	Shawnee Brave Bald Cypress	55	20	Deciduous conifer - tolerates city conditions.	N
Tilia americana 'Redmond'	Redmond Linden	45	30	Pyramidal, needs water.	N
Tilia cordata 'Greenspire'	Greenspire Linden	40	30	Symmetrical, pyramidal form.	N
Zelkova serrata 'Village Green'	Village Green Zelkova	40	38		N
Medium/Small Group					
Acer nigrum 'Green Column'	Green Column Black Maple	50	10	Good close to buildings.	N
Acer platanoides 'Columnar'	Columnar Norway Maple	40	15	Good close to buildings.	N
Acer rubrum 'Bowhall'	Bowhall Maple	40	15		N
Acer rubrum 'Karpick'	Karpick Maple	35-40	20	May work under very high power lines with arborist's approval.	N
Acer rubrum 'Scarsen'	Scarlet Sentinel Maple	40	20		N

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
<i>Acer truncatum</i> x <i>A. platanoides</i> 'Keithsform'	Norwegian Sunset Maple	35	25	Limited use under wires.	N
<i>Acer truncatum</i> x <i>A. platanoides</i> 'Warrenred'	Pacific Sunset Maple	30	25	Limited use under wires.	N
<i>Alnus sinuata</i>	Sitka Alder	40	25	Prefers a heavy moist soil - usually found above 3000'.	Y
<i>Carpinus betulus</i>	'Fastigiata' Pyramidal European Hornbeam	35	15	Broadens when older.	N
<i>Cladrastis kentukea</i>	Yellowwood	40	40	White flowers in spring, resembling wisteria flower.	N
<i>Cornus controversa</i> 'June Snow'	Giant Dogwood	40	30	Large white flower clusters that appear in June.	N
<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspur Hawthorne	25	30	Red persistent fruit.	N
<i>Crataegus phaenopyrum</i>	Washington Hawthorne	25	20	Thorny.	N
<i>Crataegus suksdorfii</i>	Suksdorf's Hawthorne	30	25	Shorter spines than <i>C. Douglasii</i> .	Y
<i>Crataegus</i> x <i>lavalii</i>	Lavalle Hawthorne	28	20	Thorns on younger trees.	N
<i>Davidia involucreta</i>	Dove Tree	40	30	Large, unique white flowers in May.	N
<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	40	15	Very narrow growth.	N
<i>Halesia tetraptera</i>	Carolina Silverbell	35	30	Attractive bark for seasonal interest.	N
<i>Libocedrus decurrens</i>	Incense Cedar	35	20	Special site approval needed.	N
<i>Liquidambar styraciflua</i>	Moraine Sweetgum	40	20	Light green foliage. More compact than other varieties.	N
<i>Maackia amurensis</i>	Amur Maackia	30	20	Attractive bark and summer flowers - grows in tough conditions.	N
<i>Magnolia</i> 'Elizabeth'	Elizabeth Magnolia	30	20	Yellow Flowers.	N
<i>Magnolia</i> 'Galaxy'	Galaxy Magnolia	35	25	Reddish-purple flowers in spring.	N

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
Magnolia grandiflora 'Victoria'	Victoria Evergreen Magnolia	25	20		N
Magnolia Kobus	Wada's Memory Magnolia	35	20	Does not flower well when young.	N
Ostrya virginiana	Ironwood	40	25	Hop like fruit.	N
Parrotia persica	Persian Parrotia	30	20	Select or prune for single stem; can be multi-trunked.	N
Pinus densiflora 'Umbraculifera'	Umbrella Pine	25	20	Special site approval needed.	N
Prunus x yedoensis 'Akebono'	Akebono Flowering Cherry	25	25		N
Pterostyrax hispida	Fragrant Epaulette Tree	40	35	Pendulous creamy white flowers - fragrant.	N
Pyrus calleryana 'Cambridge'	Cambridge Pear	40	15	Narrow tree with good branch angles and form.	N
Pyrus calleryana 'Glen's Form'	Chanticleer or Cleveland Select Pear	40	15	Vigorous.	N
Pyrus calleryana 'Redspire'	Redspire Pear	35	25	Pyramidal.	N
Quercus 'Crimschmidt'	Crimson Spire Oak	45	15	Hard to find.	N
Robinia x ambigua	Pink Idaho Locust	35	25	Fragrant flowers.	N
Sciadopitys verticillata	Japanese Umbrella Pine	30	20	Grows slowly - pristine evergreen foliage - special site approval.	N
Sorbus alnifolia	Korean Mountain Ash	40	30	Simple leaves. Beautiful pink-red fruit - may be short lived.	N
Sorbus aucuparia 'Mitchred'	Cardinal Royal Mt. Ash	35	20	Bright red berries.	N
Sorbus x hybridia	Oakleaf Royal Mt. Ash	30	20		N
Stewartia monodelpha	Orange Bak Stewartia	30	20	Orange peeling bark - white flowers in spring.	N
Taxus brevifolia	Pacific Yew	40	25	Typically occurs as an understory tree 3-5 m tall west of the Cascades.	Y

Botanical Name	Common Name	Height	Spread	Comments	Native Tree (Y/N)
Tilia cordata 'De Groot'	De Groot Littleleaf Linden	30	20	Compct, suckers less than other Lindens.	N
Tilia cordata 'Chancole'	Chancelor Linden	35	20	Pyramidal.	N

Washington State Department of Ecology*2019 Stormwater Management Manual for Western Washington (2019 SWMMWW)*

Publication No.19-10-021

City of Kirkland Online Tree Planting Class

I. Overview

Planting trees creates a canopy, or "umbrella", of leaves that helps provide shade and reduces the intensity of rainfall before it hits the ground. Tree planting is an easy, affordable way to help the environment.

As trees grow and mature, their environmental benefits increase. The larger canopies and root systems of mature trees can soak up rainwater runoff now, while planting new trees can help us in the long-term. This is why it is so important **retain existing trees** in addition to **planting new trees**.



This short, online tree planting course will help you choose your the right tree to plant and choose the right place to plant it. You'll also learn how to plant your tree to ensure its survival for years to come.

City of Kirkland Online Tree Planting Class

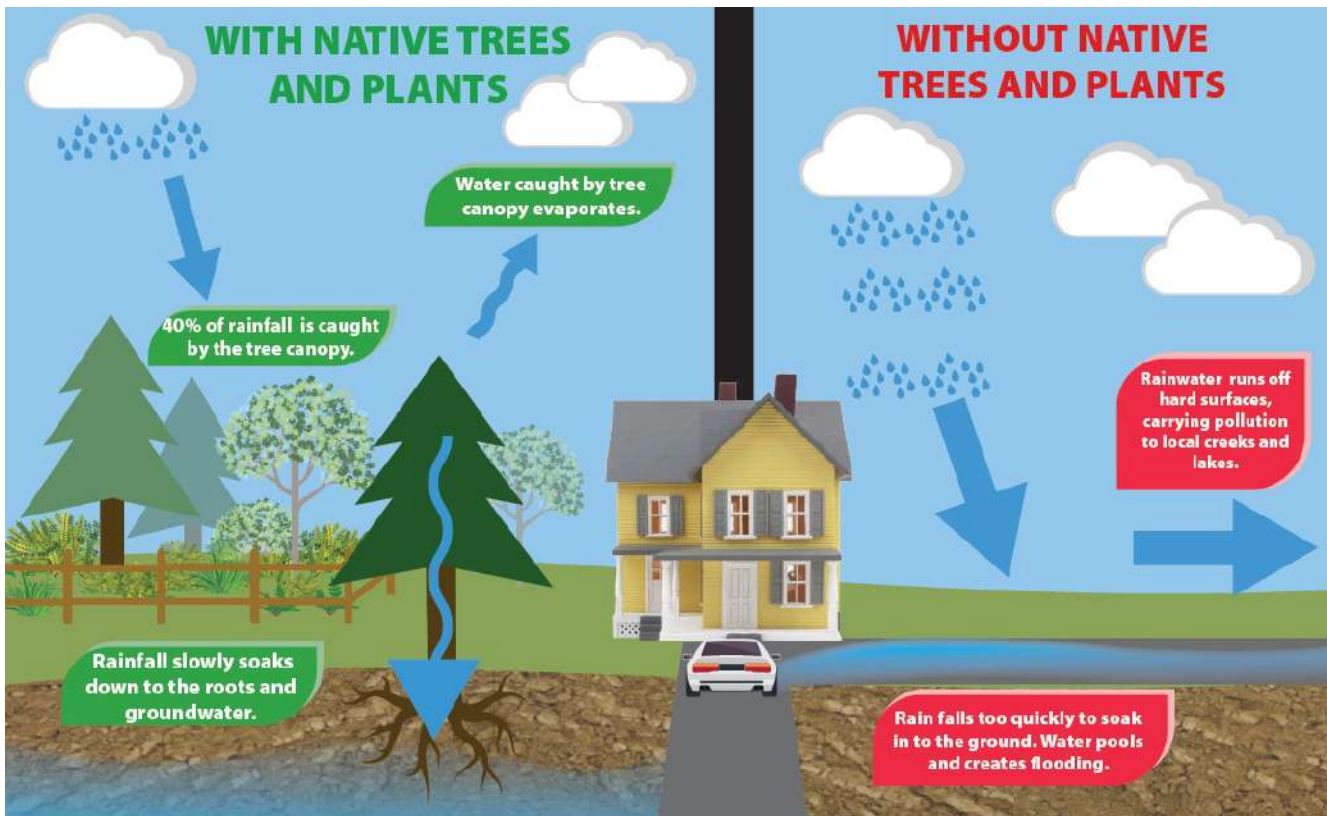
II. Benefits of Trees

Trees bring beauty and many other benefits to our landscapes and neighborhoods.

In Kirkland, trees are an important and effective way to manage and slow down rainwater runoff.

Tree canopies help reduce erosion caused by falling rain. They also provide surface area where rain water lands and evaporates.

Roots absorb water and help create conditions in the soil that better allows water to soak into the ground, rather than pool and flood.



City of Kirkland Online Tree Planting Class

III. Choose the Right Tree

Consider the reason you're planting a tree, the shape and size of the tree, and your property's soil and sun conditions before planting.

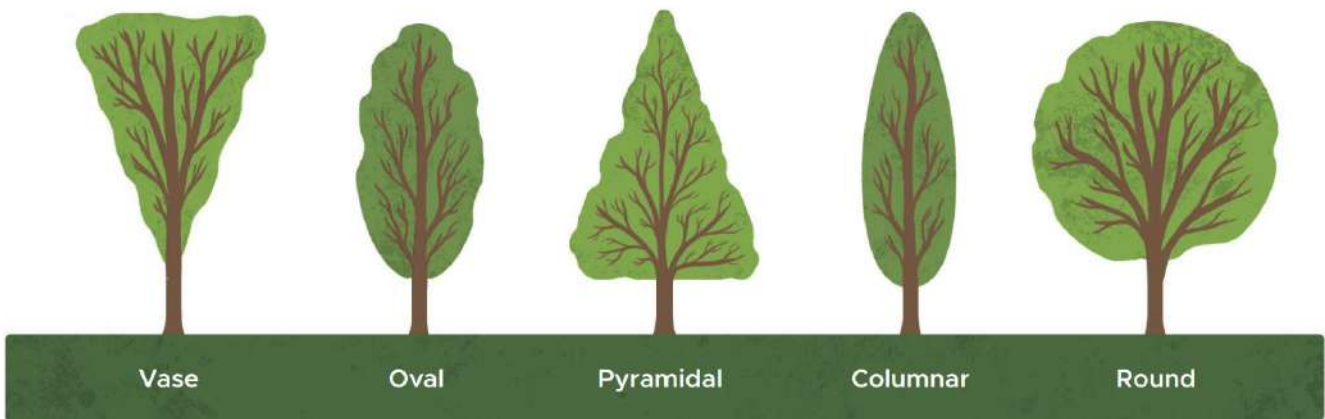


Tree Function - Why are you planting the tree? What functions will it serve?

- **Evergreen trees** keep their leaves all year and are good for privacy, wind breaks, and shading hot areas.
- **Deciduous trees** lose their leaves every year and provide shade in the summer while allowing in winter sun.

Form and Size - Selecting the right shape and size of a tree reduces maintenance and increases your tree's value for the landscape.

- **Height:** Consider how tall the tree will be at maturity. Are there powerlines or other hazards above to avoid?
- **Canopy spread:** Consider how wide the tree will grow at maturity and avoid planting too close to buildings.
- **Tree shape:** A columnar-shaped tree will grow tall and narrow, while round and v-shaped trees provide the most shade. Select a tree shape that helps you achieve your landscaping goals.
- **Root space:** You can expect that roots will grow at least as wide as the canopy of the tree and generally stay near the surface of the soil. Avoid planting too close to buildings, driveways, and sidewalks.



Soil, sun, and moisture conditions - Select a tree that will thrive in your site's conditions.

City of Kirkland Online Tree Planting Class Right Tree Quiz!

Complete the following quiz before moving on.

* 1. An evergreen tree:

* 2. An deciduous tree:

* 3. In general, how wide can you expect a tree's roots to grow?

- Roots grow straight down, so it's not a problem.
- One to two feet wide at most.
- At least as wide as the tree canopy.
- None of the above

City of Kirkland Online Tree Planting Class

IV. Choose the Right Place to Plant

Carefully selecting a location for your new tree helps ensure that it will be healthy and survive for years to come without excessive maintenance or without causing trouble to your property's infrastructure.

Always call 811 before you dig. Call 811 or visit callbeforeyourdig.org to request a free utility locate. This will locate your gas, cable, and electric lines. 811 **will not** locate your sewer or water lines. The City of Kirkland or Northshore Utility District may have the records of sewer/water lines. Contact your sewer/water provider for more information.

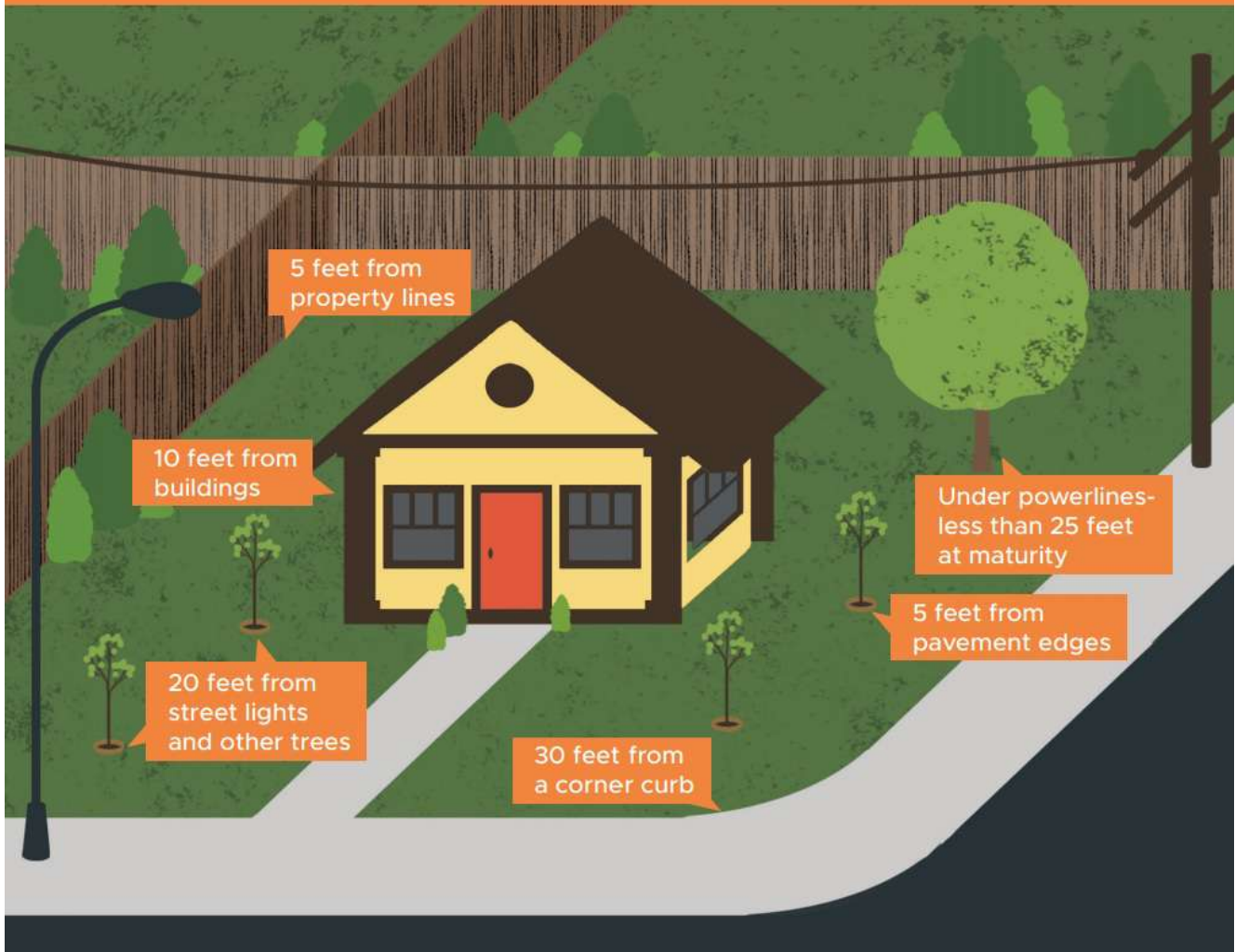
Make sure you have enough room for the tree to grow.

Select a location that has enough room for the branches above ground as well as the roots below ground. Consider the mature height, mature canopy width, and root spread when selecting a location.

- All trees must be planted on your private property, not in the right of way.
- **Avoid utilities.** Locate trees at least 10 feet from underground utilities and plant smaller trees (less than 25 feet tall at maturity) under power lines.

LOCATION, LOCATION, LOCATION!

TREE SHOULD BE PLANTED AT LEAST:



City of Kirkland Online Tree Planting Class Plant in the Right Place Quiz

Answer the following quiz questions about the right planting location before moving on.

* 4. What number should you call for a free utility locate before any digging?

411

811

911

* 5. How far should trees be planted from underground utilities and buildings?

* 6. Check all of the correct tree planting spacing guidelines out of the list below. Hint: there are four correct out of six choices. **Check all that are correct.**

5 feet from property lines

200 feet from stoplights

5 feet from pavement edges

Less than 25 feet tall at maturity under power lines

15-20 feet from other trees

As close to a window as possible

City of Kirkland Online Tree Planting Class

V. Plant Your Tree!

Trees and woody shrubs are ideally planted in the fall to support root establishment before the spring growing season. Avoid planting in the summer or when the ground is frozen.

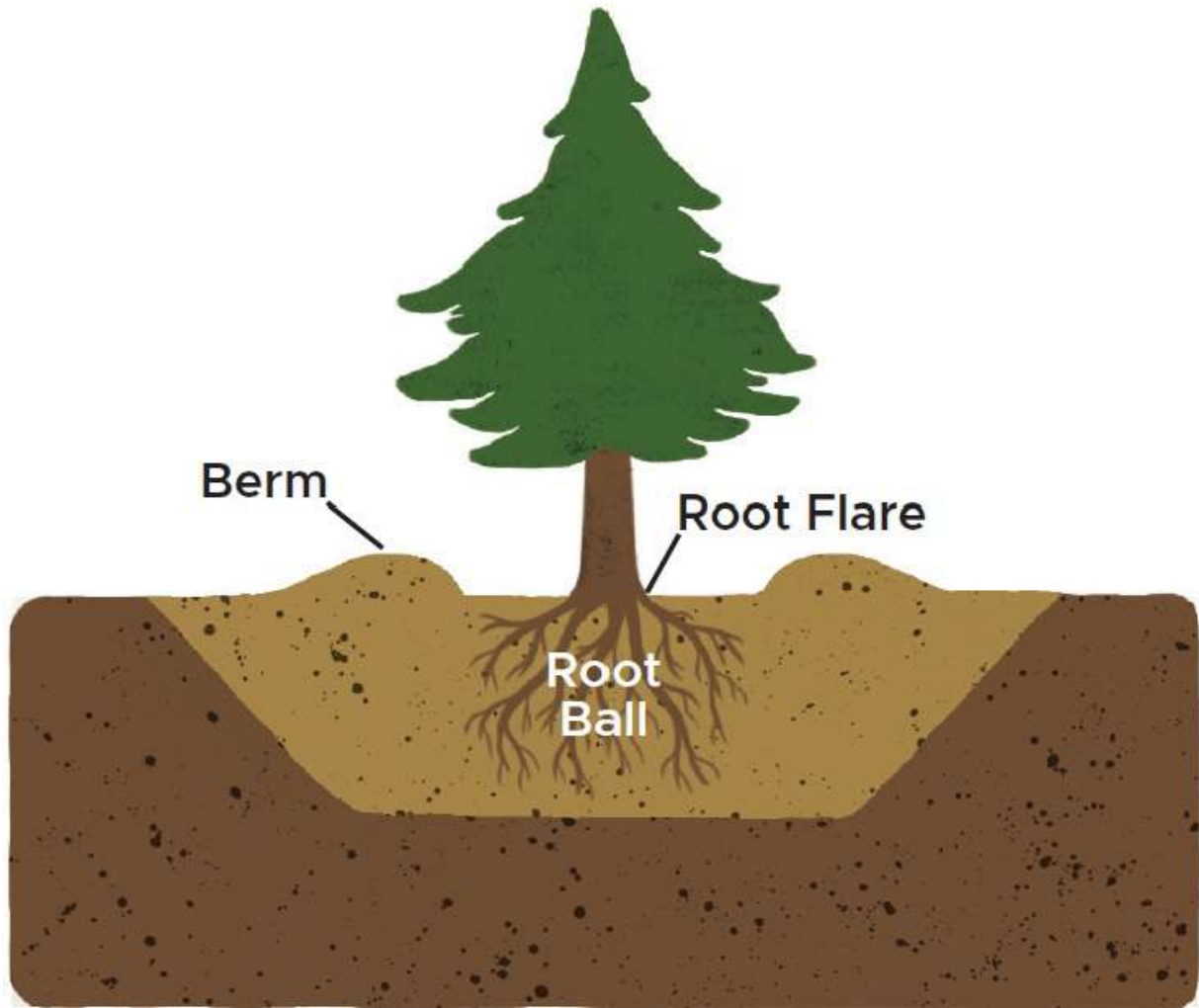
Steps to Tree Planting

1. Clear the area. Remove material (sod, weed, mulch) from planting area to expose soil.
2. Dig a shallow, wide planting hole. Measure the height of the root ball. Dig a hole that is as deep as the height of the root ball and 2-3 times the width.
3. Remove the tree from its container. Lay the tree on its side and push on the sides of the container to loosen the root ball from the sides of the container. Carefully remove the tree from the container keeping the soil around the roots intact. **Don't yank the tree out of the container by the trunk as this can separate the roots from the tree.**
4. Locate the root flare. Remove any excess soil piled on top of the root flare (or root collar) of your tree - the widened base of the main stem just above where the roots start.



Steps to Tree Planting

5. **Massage the roots.** Massage the roots on all sides, including the bottom, so they are loose and ready to grow out horizontally. Straighten or remove circling roots. If the tree is really root bound and the roots are circling around the edges of the container, cut an X across the bottom of the root ball and then 4 vertical slices along the sides of the root ball with a sharp-edged trowel.
6. **Remove any nursery stakes or tags.** These will not help support your new tree and will only cause harm to your tree as it grows.
7. **Place tree in the hole.** Make sure the trunk is straight – have someone view the tree from several directions to confirm that it is straight. In the hole, the root flare of your tree should be visible just above the ground.
8. **Fill the hole.** Backfill around the root ball with original soil, breaking up any large chunks and gently packing the soil between roots. Use the remaining soil to create a berm (a low ring of dirt) outside the root ball perimeter.
9. **Water.** Water thoroughly right after planting to help remove air pockets in soil.
10. **Mulch.** Spread a 3-inch deep ring of mulch or wood chips around the base of the tree. Keep mulch about a hands-width away from the trunk to prevent rot.



City of Kirkland Online Tree Planting Class

Tree Planting Quiz!

Answer the following questions to complete your online tree planting class.

* 7. How deep and wide should the planting hole for your tree be?

- 5-6 feet deep and 1 foot wide.
- As deep as the root ball and 2-3 times the width of the root ball.
- Only a few inches, the roots will grow down and dig the tree in on its own.

* 8. When is the best season to plant a tree?

- Ideally in the fall or spring.
- The middle of summer for shade.
- When the ground is frozen so the tree becomes tough in all conditions.

* 9. Mulch helps protect the soil around the tree and slowly adds nutrients over time. How deep should the mulch layer be around the tree?

- 3 feet.
- 3 inches.
- Just enough to thinly cover the soil.

City of Kirkland Online Tree Planting Class Contact Information

Please enter your contact information so that we can verify completion of this course with your tree rebate.

* 10. Address

Name	<input type="text"/>
Street Address	<input type="text"/>
City/Town	<input type="text"/>
State/Province	<input type="text"/>
ZIP/Postal Code	<input type="text"/>
Email Address	<input type="text"/>
Phone Number	<input type="text"/>

PROJECT IMPACT

		0		Total Projects	Total SF of NL	Total SF of Imperv. Area	Total Cistern Capacity	Total Gallons Managed	Total Participant Cost	Total Rebate	Average RPG				
	Rain Garden	0													
	Native Landscaping	0		1	1,142.00	952.00	530.00	23,019	\$ 4,856.79	\$ 3,000.00	\$ 0.13				
	Cisterns	0			Average SF of NL	Average SF Impervious	Average Cistern Capacity	Average Gallons Managed	Average Project Cost	Average Rebate	Average RPI				
	Downspout Disconnect	0			1,142	952	530	23,019	\$ 4,856.79	\$ 3,000.00	\$ 3.15				
	Tree Planting	0													
	Name	Email	Phone	Address	Project	Square Feet of NL	Impervious Area Managed	Total Cistern Capacity	Gallons Managed	Project Cost	Rebate Amount	Rebate Per Gallon Managed	Rebates Per SF Impervious	Comments	Question
(example)	John Doe	stormwater@kirklandwa.gov	425-587-3857	123 5th Ave	Native Landscaping	1142	952	530	23019	\$ 4,856.79	\$ 3,000.00	\$ 0.13	\$ 3.15		

Appendix D - Site Assessment Materials

- Data Collection Form
- Sample Report

Data Collection Form

PROPERTY OWNER INFORMATION

Name	
Address	
Drainage basin	
Critical areas or easements?	
% of lot that is impervious	
Estimated impervious surface (ft ²)	
Est. annual stormwater runoff	$\text{Impervious Area (ft}^2\text{)} \times 0.62 = \text{Gallons per 1" storm} \times 39 = \text{Gallons per year}$

CURRENT CONDITIONS AND SITE HISTORY

Permission to take photos?	<input type="radio"/> Yes <input type="radio"/> No
Primary uses of outdoor space?	<input type="radio"/> Growing food <input type="radio"/> Play space <input type="radio"/> Relaxing <input type="radio"/> Not used much <input type="radio"/> Other: _____
Ideas or plans for yard renovation?	
Any specific site needs like wheelchair access?	<input type="radio"/> Yes <input type="radio"/> No
Specific needs notes:	
Any issues with water on your property or signs of accumulation?	<input type="radio"/> Pooling water <input type="radio"/> Seeps or springs <input type="radio"/> Spongy/mossy areas <input type="radio"/> Eroded areas <input type="radio"/> Other: _____
Enter notes/locations:	
Existing water management systems on-site?	<input type="radio"/> Rain barrel <input type="radio"/> Rain garden <input type="radio"/> Dry well <input type="radio"/> Other: _____
Enter notes/locations	
Basement or crawl space?	<input type="radio"/> Basement <input type="radio"/> Crawl space <input type="radio"/> Neither

SLOPES/SUN

Steep slopes?	<input type="radio"/> Yes <input type="radio"/> No	Mark locations and directions on map
Sun exposure	FRONT YARD: <input type="radio"/> Sunny <input type="radio"/> Shady <input type="radio"/> Mixed	BACK YARD: <input type="radio"/> Sunny <input type="radio"/> Shady <input type="radio"/> Mixed

EXISTING VEGETATION

Invasive weeds found onsite	<input type="radio"/> None <input type="radio"/> English ivy <input type="radio"/> Blackberry <input type="radio"/> Butterfly bush <input type="radio"/> Other: _____
Location(s) of invasive weeds	
Notes on existing conifers and deciduous trees	
Canopy cover	<input type="radio"/> 0-25% <input type="radio"/> 50-75% <input type="radio"/> 25-50% <input type="radio"/> 75-100%
Is there lawn?	<input type="radio"/> Yes <input type="radio"/> No
Notes on lawn (location, condition)	

UTILITIES

Mark 811 utilities on map:

Yellow = gas
Red = electric
Blue = water

Green = sewer
Orange = phone and cable
Black = overhead power lines

Fiber optic lines?	<input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Not sure	Mark on map
Oil tank?	<input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Not sure	Mark on map
Septic drain field?	<input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Not sure	Mark on map
Irrigation system?	<input type="radio"/> Yes <input type="radio"/> No	Mark on map

SOIL

Mulch in planting beds?	<input type="radio"/> Wood chips <input type="radio"/> Shredded wood <input type="radio"/> Beauty bark <input type="radio"/> Compost <input type="radio"/> Rock <input type="radio"/> None <input type="radio"/> No planting beds <input type="radio"/> Other: _____
Soil ever amended with compost?	<input type="radio"/> Yes <input type="radio"/> No
If yes, how long ago and where?	

SOIL TESTS

Test for compaction by probing soil at various locations in yard. Record results:	
Soil texture test results. Soil type:	<input type="radio"/> Clay <input type="radio"/> Loam <input type="radio"/> Sand <input type="radio"/> Mixture: _____
Notes about soil texture test:	

DOWNSPOUTS

Notes on condition of roof and gutters:	
---	--

Notes on downspout conditions - **Take photos of all downspouts**

Mark all on map with ID

Downspout ID	Connected or disconnected?	Drains to (storm, dry well, lawn, garden, unk)	Initial recommendations (disconnect? To what?)

POTENTIAL SOLUTIONS

PAVEMENT REMOVAL

Mark on map

Interest in removing any unused pavement?	<input type="radio"/> Yes <input type="radio"/> No
Replacement for pavement?	<input type="radio"/> lawn <input type="radio"/> native landscaping <input type="radio"/> rain garden <input type="radio"/> other: _____
Constraints?	
Notes/description of potential location	

CISTERNS

Mark on map

Opportunities for cistern installation?	<input type="radio"/> Yes <input type="radio"/> No
Constraints?	
Notes/description of potential location	

PLANTING TREES

Mark on map

Opportunities for tree planting?	<input type="radio"/> Yes <input type="radio"/> No		
Constraints?			
Tree notes	Location: _____ Tall/Med/Small? Sun/Shade/Mixed? Species: _____	Location: _____ Tall/Med/Small? Sun/Shade/Mixed? Species: _____	Location: _____ Tall/Med/Small? Sun/Shade/Mixed? Species: _____

NATIVE LANDSCAPING

Mark on map

Good locations for native landscaping?	<input type="radio"/> Yes <input type="radio"/> No
Opportunity to direct disconnected downspouts to location?	<input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Possibly
Constraints?	
Notes/description of potential location(s)	

RAIN GARDEN

Mark on map

Interest in/opportunity for installing a rain garden?	<input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Possibly
Constraints?	
Notes/description of potential location	

EXPLAIN INFILTRATION TEST – CONDUCT AT END OF SITE VISIT, IF NEEDED**RAINWATER MANAGEMENT OPPORTUNITIES**

Initial recommendations for property:	<input type="radio"/> Cisterns <input type="radio"/> Rain garden <input type="radio"/> Native landscaping <input type="radio"/> Disconnect downspouts <input type="radio"/> Planting trees
Notes:	

Sample Report

CITY OF KIRKLAND, WASHINGTON



A smart yard works for you and your environment

Dear [REDACTED],

Thank you for participating in the Yard Smart Rain Rewards yard consultation! Together we collected a lot of information on the characteristics of your landscape to help us identify the best ways to make your yard smart. In this report you will find a summary of your property's site conditions and recommendations for Yard Smart solutions best suited to your property.

Current Conditions at [REDACTED], Kirkland, WA



Site History

You bought your house in 2019 and have been primarily cleaning the yard of weeds since then. You are possibly interested in creating a more level backyard. During our site visit you indicated you were interested in rain-capture cisterns and possibly native landscaping in the backyard.



Impervious Surface

Impervious surfaces are the hard surfaces that do not absorb water, like driveways and roofs. Your total lot size is 11,223 square feet, and approximately 4,109 square feet, or 37 percent of that is impervious surface. Based on Kirkland's average annual rainfall, approximately 99,356 gallons of water—enough to fill 1,242 average-sized bathtubs—fall on those surfaces, becoming potential stormwater runoff to Forbes Creek each year.



Downspouts

The house has 4 downspouts in good condition. Locations of the downspouts are noted on the map below. All downspouts are disconnected from the city stormwater drainage system and flow to your backyard and the open space to the north.



Topography

The topography of the site influences how water moves through your property. Your property is moderately sloped from south to north, with the backyard sloping away from the house.



Soil Quality

Soils on your property are sandy loam soil. Sandy loam is typically well-draining and supportive of plant growth. However, the areas of bare soil and mossy soil in your backyard are moderately compacted, which impacts how well water is able to drain. Converting these areas to native landscaping with mulch will improve soil health.



Vegetation

There is a mix of lawn, planting beds, and trees including Western Red Cedar and Douglas Fir on your property. Small patches of invasive Himalayan Blackberry are beginning to establish on your property from the open space to the north. Refer to the King County website for information on controlling the spread of [Himalayan Blackberry](#).



Site Constraints

The primary constraint for installing stormwater features on your site is the sewer connection running through your backyard. No trees or large shrubs should be planted within 10 feet of this pipe, and mechanical digging in this area is not recommended.

Contact Us. If you have any questions about these recommendations, please contact your Yard Smart Coordinator: Aaron Hussmann at 425-587-3857 or YardSmart@kirklandwa.gov

Opportunities to Become Yard Smart

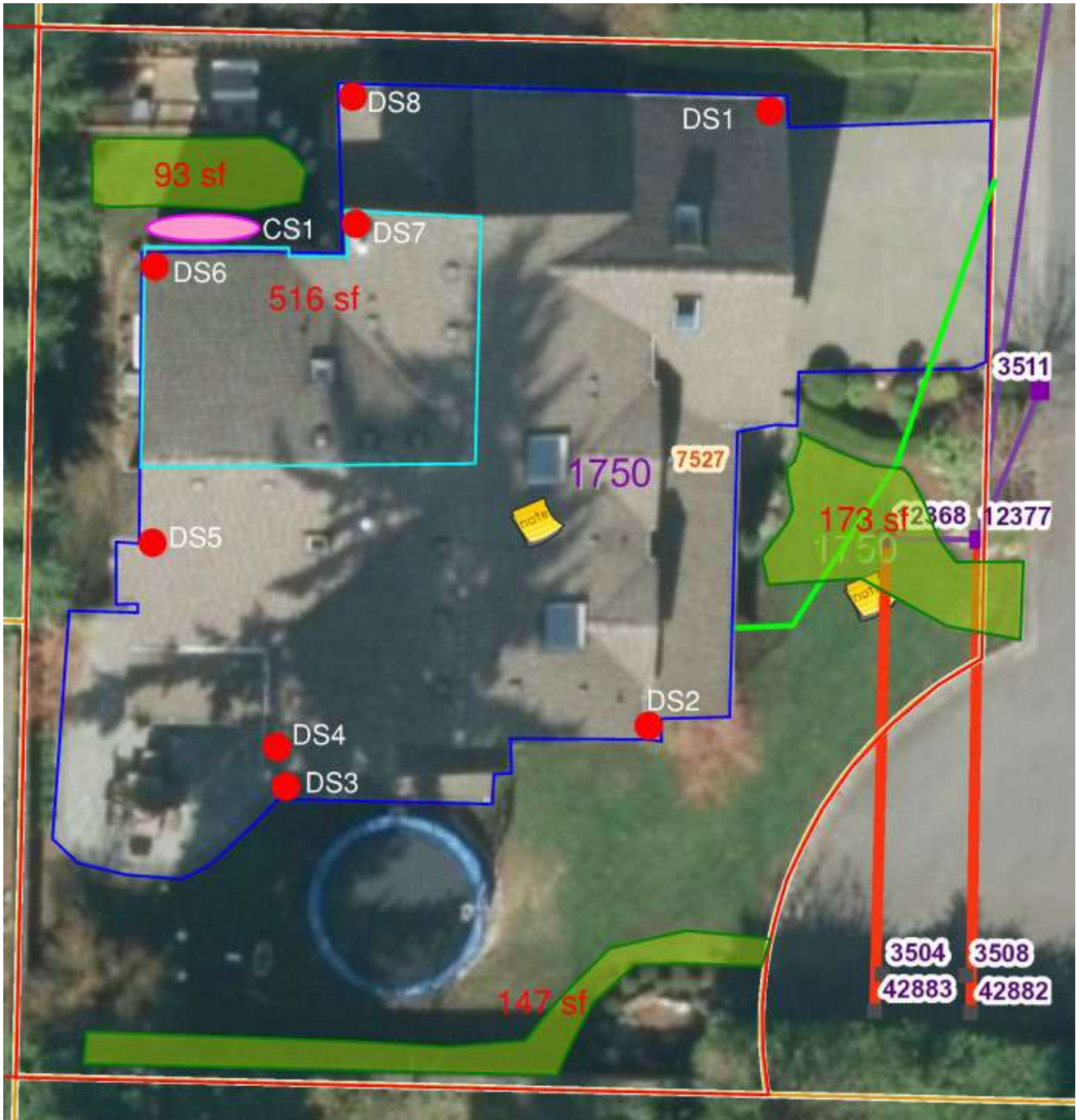
Based on the information that we collected during the consultation, we recommend the following Yard Smart solutions for your property. The solutions are listed in the order of how effectively they will manage stormwater. See the map of your property on the next page for the best location for each feature. For full descriptions and requirements for each solution, refer to your project packet.

Feature	Notes
Cistern	<p>Cisterns are large rain barrels that collect roof water to help slow the flow of runoff and provide a water source for summer irrigation.</p> <p>You indicated that you are interested in installing a cistern in your yard at location CS1 on the map below.</p> <p>To be eligible for Rain Rewards rebates, cisterns or a series of rain barrels must drain a total minimum roof area of 400 square feet and have a capacity greater than 200 gallons and less than 1,000 gallons.</p> <p>A cistern placed at CS1 would drain a roof area of 711 square feet from downspouts DS1 and DS4 and would provide an estimated potential of 3,086 gallons of summer irrigation water. Overflow from cistern CS1 can be directed to your backyard.</p> <p>Cisterns must be placed a minimum of 5 feet away from property lines and be installed on a solid, level pad concrete pad or other surface that will not allow the cistern to sink or tip.</p>
Native Landscaping	<p>Native landscaping is a mix of plants chosen to fit the space, sun exposure, and water availability for a location. To help absorb more rainwater runoff and slow the flow of water from your downspouts, consider converting portions of bare soil, moss, lawn, and weeds in your backyard with native landscaping.</p> <p>Choose plants that prefer your yard's mix of sun/shade and moist soil. Example planting plans for can be found using the King County Native Plant Guide. Great plant options for your landscape can be found at King County's Go Native Plant Guide or Great Plant Picks.</p> <p>To be eligible for Rain Rewards rebates, native landscaping must replace a minimum 400 square feet of lawn, invasive weeds, or impervious surface. The potential areas mapped below represent approximately 1,393 square feet of lawn to native landscaping conversion.</p> <p>You are not required to landscape the entire area mapped below and final location of landscaping can be altered as long as total converted area is at least 400 square feet.</p> <p>Always call 811 before you dig to locate buried utilities. Within 10 feet of buried utilities:</p> <ul style="list-style-type: none"> • Do not rototill or do any mechanical digging. Hand dig only. • Plant only low shrubs and groundcover to prevent root damage to utilities. • Do not plant large trees or shrubs within 10 feet of the side sewer connection to prevent future root damage.

Your Property

Legend

- County parcel boundary
- Impervious area
- Stormwater conveyance pipe
- Stormwater detention pipe
- Sewer connection
- Connected downspouts
- Potential cistern
- Contributing roof area to cistern
- Potential native landscaping



Contact Us. If you have any questions about these recommendations, please contact your Yard Smart Coordinator: Aaron Hussmann at 425-587-3857 or YardSmart@kirklandwa.gov

Next Steps

Once you decide which of the recommended Yard Smart Rain Rewards solutions will work for you, please complete the appropriate Project Approval Form in your site visit packet or found here: <http://bit.ly/YardSmartApproval>. If you have questions regarding the approval form or the rebate process, please reach out to us (yardsmart@kirklandwa.gov or 425-587-3857).

What Else Can You Do?

- **Add compost and mulch to your yard.** Compost and mulch improve soil quality, increase water filtration, and prevent weed germination, reducing maintenance.
- **Practice natural yard care.** Natural yards are more drought tolerant and require fewer pesticides and fertilizers. Learn about simple practices in the Natural Yard Care booklet provided during your consultation.
- **Store household chemicals on a shelf in a cool, dry location.** Keep packaging in good condition to prevent leaks. Household chemicals like cleaners, fertilizers, and pesticides stored on the ground or in leaky containers can pollute stormwater runoff.
- **Pick up pet waste.** Pet waste can be carried by rainwater to storm drains and into creeks, lakes and Puget Sound without treatment. It causes bacterial contamination in waterways and affects our ability to use them for recreation.
- **Wash your car at a car wash.** Car washes are required to send polluted water to the sanitary sewer system for treatment. If you wash your car at home, wash it on a grassy or gravel area using chlorine-free, phosphate-free, biodegradable soap.
- **Don't drip and drive.** Fix oil leaks in your car as soon as possible. In the meantime, use drip pans or cardboard to catch and prevent leaks from polluting our streams. Learn more at fixcarleaks.org.



www.kirklandwa.gov/yardsmart

This project has been funded wholly or in part by the United States Environmental Protection Agency under assistance agreement 01J18101 to Washington Department of Ecology. The contents of this document do not necessarily reflect the views and policies of the Environmental Protection Agency, nor does mention of trade names or commercial products constitute endorsement or recommendation for use.



Appendix E - Program Forms

- Project Approval Form – Rain Gardens, Native Landscaping, Cisterns
- Project Approval Form – Downspout Disconnection
- Rebate Packet – Rain Gardens, Native Landscaping, Cisterns (includes rebate form, maintenance agreement, and W-9)
- Rebate Form – Downspout Disconnection
- Rebate Form - Tree Planting



Project Approval Form

Please complete pages 1-2 of this form and the page(s) specific to your projects.

- Review the Project Requirements boxes on each project page for guidance on design and installation requirements.
- City of Kirkland staff will contact you with project approval within 2 weeks. Approval may include required changes to the plan that ensure your project meets qualifications.
- **Projects that are installed without completed and approved project approval forms will not receive a rebate.**

Contact Information

Name _____

Phone _____

Email _____

Project Address _____

This form is being submitted for the following project(s) (*check all that apply*):

- Native landscaping - *page 3*
- Cisterns - *page 7*
- Rain garden - *page 9*



Send signed and completed form to:

YardSmart@kirklandwa.gov

-or-

Aaron Hussmann
City of Kirkland
123 5th Ave
Kirkland, WA 98033

Native Landscaping

Project Requirements

Location

- Must be combined with disconnecting minimum 400 square feet (800 sf for non-single family residential) of roof area or other impervious surface from City stormwater drainage system.
 - Landscaping must be in flow path of newly disconnected area.
- Landscaping area must be at least 20% of the size of impervious area draining to the landscaping (i.e. Draining 400 square feet of roof area requires 80 square of new native landscaping).
- On private property, outside of the public right of way (exceptions made on a case-by-case basis and may require additional permits).
- Call 811 for utility locates before you dig.
- Locate trees and shrubs 10' from known underground utilities, 10' from buildings, 10' from property lines, 30' from corner curb, 20' from streetlights and other trees
- Trees planted under power lines must be less than 25' tall at maturity
- Project must not send water onto a neighbor's property

Design/Installation

- Native landscaping must replace lawn, weeds, extremely compacted soil, or pavement
- Lawn replacement requires either removal of or killing the grass (e.g. cardboard over a winter will kill most lawns) prior to tilling and amending soil
- Replacing pavement requires pavement and gravel removal, and then tilling and amending soil
- Minimum of 50% plant material native to the Pacific Northwest region (cultivars are acceptable). 50% of plants can be non-native but must not be invasive species
- Plant selection is appropriate for site conditions (sunny/shady, wet/dry, etc.)
- Recommended planting density
 - Trees – 15 to 20 feet on center
 - Shrubs – 6 to 8 feet on center
 - Groundcover – 3 to 4 feet on center
- Scarify or till extremely compacted soils to a depth of 12 inches
- Dig 1-3 inches of compost into the top 5 inches of soil in the planting area
- Finish with a 3-inch plant-based mulch layer (arborists wood chips or equivalent)
- Do not use landscape fabric or plastic sheeting as a weed barrier**

Formal City of Kirkland approval required

Native Landscaping

a) Who will be conducting this work?	<input type="radio"/> Property Owner <input type="radio"/> Contractor
b) Project Installer & contact info?	

Site Details

c) What kind of surface will your native landscape replace?	<input type="radio"/> Lawn <input type="radio"/> Pavement <input type="radio"/> Bare Soil <input type="radio"/> Invasive Plants
d) Will the landscape receive runoff from a roof or impervious surface that will be disconnected from the City stormwater drainage system?	<input type="radio"/> Yes <input type="radio"/> No
e) If yes, how many square feet of roof area or impervious surface will flow to landscaping?	_____ square feet

Sizing Details

f) Size of native landscaping project area?	_____ square feet	Minimum 10% of impervious area (i.e. 400 sf of roof area requires 40 square feet of native landscaping)
g) Amount of compost needed	_____ cubic yards	Minimum 1-3 inch depth Multiply project area by planned compost depth. Divide result by 324
h) Amount of mulch needed	_____ cubic yards	Minimum 3-inch depth Multiply project area by planned mulch depth. Divide result by 324

Required Supporting Documents

- 2-3 “before” images of your landscape area
- Plant List (page 5)
- Site design plan (page 6)

Native Landscaping: Site Design Plan

Include:

- Dimensions of native landscaping
- Distance from any structures
- Location descriptors (i.e. front, back, side yard)
- Planting plan (include plant species and plant locations)

A large grid for site design plan, consisting of 20 columns and 20 rows of squares.

Scale drawing to: 1/4 in = 1ft **OR** 1/8 in = 1 ft **OR** 1 in = 10 ft

Cisterns

Project Requirements

Water can be used for irrigation only (i.e. not drinking water)

Location

- On private property, outside of the public right of way
- At least 5 feet from property line
- Above ground
- Cisterns must be installed on a solid, level concrete pad or other surface that will not allow the cistern to sink or tip
- Overflow drains onto a pervious surface (grass, garden, rain garden, etc.)
- Overflow drainage outlet directed a minimum of 5 feet away from foundation
- Project does not send water onto neighbor's property

Design

- Cistern must drain a minimum roof area of 400 square feet
 - Roof area must be newly disconnected from City stormwater drainage system
- Cistern size: 200 to 1,000 gallons
- Secure lid
- Drain valve at bottom of tank for releasing water slowly – valve must remain open during the "wet season" months of October-May
- Overflow with pipe that drains onto a pervious surface (grass, garden, etc.)
- Clear access for clearing the inlets when necessary

Formal City of Kirkland approval required

Cisterns

a) Who will be conducting this work?	<input type="radio"/> Property Owner <input type="radio"/> Contractor
b) Project Installer & contact info?	

System Specifications

c) What is the capacity of the cistern(s)?	_____ gallons	At least 200 gallons
d) What is the size of roof area draining to cistern(s)?	_____ square feet	Minimum 400 square feet
e) What material will be used for the cistern foundation?	_____	Concrete pad, packed earth or sand, etc.
f) Size of foundation?	_____ square feet	
g) Describe filtration system components		
h) Where will cistern's overflow be directed to?		Direct a minimum 5 feet away from foundation

Required Supporting Documents

- An image of the cistern (e.g. an image from a website)
- Sketch indicating proposed location of cistern, in relation to buildings and other structures

Rain Gardens

Project Requirements:

Location

- Call 811 for utility locates before you dig. Do not locate garden above utilities
- Installed in location which passes a soil drainage test
 - 1 to 2 inches per hour is preferred, 0.5 inches per hour minimum
- Garden located on a slope not greater than 10% (a 1 foot drop over 10 feet length)
- Minimum setback of 10 feet from top of rain garden to buildings, 10 feet from utilities, and 5 feet from property lines. Minimum setback of 15 feet from buildings with crawl space or basement elevation that are below the overflow point of the infiltration system
- Minimum setback of 50 feet from any slope greater than 20%
- Do not locate immediately upslope of buildings
- Locate on private property, outside of the public right of way

Design/Installation

- Lawn replacement requires either removal of or killing the grass (e.g. cardboard over a winter will kill most lawns) prior to tilling and amending soil
- Replacing pavement requires pavement and gravel removal, and then tilling and amending soil
- Rain garden is designed per the latest *Rain Garden Handbook for Western Washington*
- Rain garden must drain a minimum of 400 square feet or 800 square feet for multifamily or non-residential property
- Never send more than 1,000 square feet of roof or driveway runoff to a single rain garden
- Garden ponding area is 6 to 12 inches deep
- 4 inches of amended soil tilled into upper 12 inches of soil or 12 inches of 60% sand, 40% compost blend
- Maximum bottom slope of garden is 0.5%
- Minimum 1-foot depth between bottom of bioretention soil mix and water table
- No invasive plant species
- Plants selection is appropriate for site conditions and placed in appropriate zones of rain garden
- Install streambed cobble at inlet and overflow to dissipate runoff
- Finished with a plant-based mulch layer of 3"
- Do not use landscape fabric or plastic sheeting as weed barrier**

Formal City of Kirkland approval required

Rain Gardens

Who will be conducting this work?	<input type="radio"/> Property Owner <input type="radio"/> Contractor
Landscape Designer & contact info?	_____
Project Installer & contact info?	_____

Site Details

- What kind of surface will your rain garden replace? (*choose one*)
- Lawn Pavement Bare Soil Invasive Plants

Sizing Summary

Refer to *Rain Garden Handbook for Western Washington* to complete this section

Sizing Calculations		
A. Soil drainage rate	_____ inches per hour	Use results of soil drainage test
B. Area draining to rain garden	_____ square feet	See pages 18-19 of Handbook
C. Desired ponding depth	_____ inches	Designer's preference (6" or 12")
D. Desired performance level	BEST	
E. Rainfall region	Region 2	See map on page 22 of Handbook
F. Sizing factor	_____ %	Use sizing chart on page 21 of Handbook
G. Soil texture	_____	Sand, silt or clay?
Results/ Rain Garden Dimensions		
Required size of top surface of ponding area	_____ square feet	Multiply area draining to garden (B) by sizing factor (F)
Design dimensions for top surface of ponding area	____' Width X ____' Length	Dimension that fit in available space & based on designer preference
Overflow containment area	____' Width X ____' Length	Calculated by adding 1 foot horizontal to all sides for the 6-inch vertical depth required on a 2:1 slope. See page 24 of Handbook

Rain Garden Inlet

- How will water be delivered to your rain garden?
- Pipe Cistern Swale Other _____

Rain Gardens

Soil Amendments

Amount of rain garden soil mix needed	_____ cubic yards	4-inch or 12-inch depth Multiply top surface of ponding area by proposed soil depth. Divide result by 324
Amount of mulch needed	_____ cubic yards	3-inch depth Multiply top surface of ponding area by proposed mulch depth. Divide result by 324

Required Supporting Documents

- 2-3 “before” images of your rain garden area
- Plant List (page 12)
- Site Design Plan (page 13)

Rain Gardens: Site Design Plan

- Include:
- dimensions of the rain garden
 - distance from any structures
 - location descriptors (i.e. front, back, side yard)
 - location of inlet and overflow of garden and how water will be conveyed to the garden
 - planting plan (include plant species and plant locations)

A large grid for site design plan, consisting of 20 columns and 20 rows of squares. The grid is intended for drawing a site design plan for a rain garden.

Scale drawing to: 1/4 in = 1ft OR 1/8 in = 1 ft OR 1 in = 10 ft

Project Approval Form - Downspout Disconnection

Simple Downspout Disconnection - Project Approval Form

Project Requirements:



Downspout Disconnection

- Cut off downspout at least 9 inches above standpipe
- Block standpipe with expansion plug or cap
- Add elbow and pipe to carry flow away from house.
- Point of discharge must be a minimum 5 feet from building (with crawlspace), 10 feet from building (with basement), 5 feet from property line, 10 feet from neighboring buildings, 50 feet from steep slopes
- Do not send water onto a neighboring property, basement or sidewalk
- Ground must slope away from buildings and nearby property lines
- Add splash block, rock, or gravel filled trench to slow and disperse runoff

Splash Block & Rock Pads

- Route no more than 700 square feet of roof area to a single splash block
- Spread runoff into lawn, beds, a rain garden or a rock-filled infiltration trench, sloping away from nearby buildings, no steeper than 15%
- Locate minimum 5 feet from building (with crawlspace), 10 feet from building (with basement), 5 feet from property line, 10 feet from neighboring buildings

Formal City of Kirkland approval required

Basic Information

Name: _____

Phone: _____

Email: _____

Project Address: _____

Project Information

Downspout #1	Downspout #2
Downspout ID (from site report): _____	Downspout ID (from site report): _____
Contributing roof area: _____ square feet	Contributing roof area: _____ square feet
How is the water from the downspout(s) dispersed? <input type="checkbox"/> Splash block <input type="checkbox"/> Rock pad	How is the water from the downspout(s) dispersed? <input type="checkbox"/> Splash block <input type="checkbox"/> Rock pad
Where does runoff flow?	Where does runoff flow?

Project Rebate Checklist

Submit materials for a rebate after your Yard Smart Rain Rewards project(s) has been completed and invoices have been paid.

Please complete and include the following items in your submission:

- Project Rebate Form**
- Maintenance Agreement**
 - Sign and date form
- W-9 form** (Request for Taxpayer Identification Number and Certification)
 - Fill out name, address and social security number fields
 - Single-family property owners, check “Individual/Sole Proprietor” box
 - Sign and date the form
- All itemized invoices and receipts** showing costs of project installation and materials. If using a contractor, invoice must show business name and address.
- Proof of payment** (credit card receipts or copy of canceled checks)

Email your rebate materials to YardSmart@kirklandwa.gov or send to Aaron Hussmann, City of Kirkland, 123 5th Ave, Kirkland, WA 98033.

Rebate checks will be mailed within one month from when the complete rebate materials are received by the City of Kirkland.

If you have questions, please contact Aaron Hussmann (425-587-3857 or YardSmart@kirklandwa.gov).



Project Rebate Form

Basic Information

Name: _____

Phone: _____

Email: _____

Project Address: _____

Mailing Address (if different): _____

Project Information

Project 1: Cistern Native Landscaping Rain garden

Project Implementer? Property owner Contractor

Final project area or cistern capacity: _____ square feet/gallons (circle one)

Rebate-eligible project costs: \$ _____
(Rebate-eligible projects were listed in Project Approval letter)

Changes made to approved plans (attach new plan, if there is an updated planting or conveyance plan):

Project 2: Cistern Native Landscaping Rain garden

Project Implementer? Property owner Contractor

Final project area or cistern capacity: _____ square feet/gallons (circle one)

Rebate-eligible project costs: \$ _____
(Rebate-eligible projects were listed in Project Approval letter)

Changes made to approved plans (attach new plan, if there is an updated planting or conveyance plan):

Complete and sign this Statement of Understanding. Unsigned forms will not be processed.

I, _____, have completed this form accurately to the best of my ability. To obtain a rebate after the project(s) is completed, I will need to complete the Project Rebate Form after the project is approved by the City of Kirkland. Upon completing the Project Rebate Form, I will agree to maintain my project for 5 years, and give the City of Kirkland permission to access and assess my project(s) for that duration.

Signature _____ Date _____

OFFICE USE ONLY

Date rebate form & attachments received _____ Date check mailed _____

Total eligible DIY project costs	\$ _____
Total eligible contractor project costs	\$ _____
Gallons of runoff managed	_____ gallons

Check one of the following:

- Project approved for \$_____ rebate. Rebate 100% eligible DIY project costs, 75% eligible contractor project costs. Will not exceed \$3,000 for single-family projects or \$6,000 for larger-site projects.
- Rebate contingent upon changes to rebate form and materials listed below:



SURFACE WATER MANAGEMENT IMPROVEMENT MAINTENANCE AGREEMENT

This Agreement (Agreement) is made on the ____ day of _____, 20____, by and between the City of Kirkland (City) and _____ (Homeowner).

This Agreement establishes the understanding between the City of Kirkland and the Homeowner regarding the terms and conditions governing Homeowner's participation in the City of Kirkland's Yard Smart Rain Rewards Program. Homeowner owns the real property located at _____, Kirkland, Washington (Property).

TERMS AND CONDITIONS

In consideration of their mutual promises and commitments, the City of Kirkland and Homeowner hereby agree as follows:

1. Homeowner agrees to maintain the Surface Water Management Improvement according to its original design approved in Homeowner's Yard Smart Rain Rewards Project Approval Form and as depicted in Exhibit A (*copy of Project Approval Form*).
2. This Agreement is effective upon full execution of this Agreement and will expire five years from that date.
3. During the term of this Agreement, Homeowner will maintain the Surface Water Management Improvement and exercise reasonable care to avoid interference with, damage to, or loss of function of the improvement. Homeowner shall pay for the costs and expenses that are related to its maintenance obligations.

For the five year duration of this Agreement, the City shall contact Homeowner annually regarding maintenance of the Surface Water Management Improvement.

4. Homeowner grants the City the irrevocable right to use photographs of their Surface Water Management Improvement in all forms and media.
5. Nothing contained in this Agreement shall be construed to require the Homeowner to alter or improve the Property or any access to the Property. Homeowner will provide prior written notice to and consult with the City regarding any planned alterations to the Property or Surface Water Management Improvement that may affect the Improvement's performance. (*Examples would include additions to the property that would affect roof drainage area, alterations to gutters or reshaping the garden.*)
6. Homeowner grants the City permission to enter onto the Property, at reasonable times to be arranged in advance by mutual agreement, to:

- a. inspect the final installation to determine if the Surface Water Management Improvement meets program standards.
 - b. monitor and evaluate the maintenance and performance of the Surface Water Management Improvement.
7. If the Homeowner chooses to discontinue or remove the improvement prior to the expiration of this Agreement, Homeowner will be required to reimburse the City for the amount of the Yard Smart Rain Rewards Rebate. This cost will be pro-rated as described in the schedule below:

Within Year 1	100% of rebate
Within Year 2	80% of rebate
Within Year 3	60% of rebate
Within Year 4	40% of rebate
Within Year 5	20% of rebate
After Year 5	0% of rebate

This Agreement shall terminate upon repayment of the Yard Smart Rain Rewards Rebate in accordance with this Agreement.

8. All written notices or reports required under this Agreement shall be given by posting in first class mail as follows:

To City of Kirkland: Public Works Department
 City of Kirkland
 123 5th Avenue
 Kirkland, WA 98033

To Homeowner: _____

9. Homeowner shall defend, indemnify and hold the City, its officers, officials, employees and volunteers harmless from any and all claims, injuries, damages, losses or suits including attorney fees, arising out of or resulting from its negligence or breach of any of Homeowners obligations in performance of this Agreement.

In the event of liability for damages arising out of bodily injury to persons or damages to property caused by or resulting from the concurrent negligence of the Homeowner and the City, its officers, officials, employees, and volunteers, the Homeowner's liability hereunder shall be only to the extent of the Homeowner's negligence. The provisions of this section shall survive the expiration or termination of this Agreement.

10. This Agreement, together with all attachments and addenda, represents the final and completely integrated Agreement between the parties regarding its subject matter and supersedes all prior negotiations, representations, or agreements, either written or oral. This Agreement may be amended only by written instrument properly signed by both parties.

City of Kirkland and Homeowner have executed this Agreement, effective on the date first written above.

By: _____ Date: _____
City of Kirkland

By: _____ Date: _____
Homeowner

_____ Date: _____
Homeowner

OFFICE USE ONLY

Homeowner(s): _____

Legal Description: _____

Assessor's Tax Parcel Number: _____

Rebate Amount: _____

Request for Taxpayer Identification Number and Certification

**Give Form to the
 requester. Do not
 send to the IRS.**

Print or type See Specific Instructions on page 2.	1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.	
	2 Business name/disregarded entity name, if different from above	
	3 Check appropriate box for federal tax classification; check only one of the following seven boxes: <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ _____ Note. For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner. <input type="checkbox"/> Other (see instructions) ▶ _____	
	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <i>(Applies to accounts maintained outside the U.S.)</i>	
	5 Address (number, street, and apt. or suite no.)	
	6 City, state, and ZIP code	
	7 List account number(s) here (optional)	

Requester's name and address (optional)
 City of Kirkland
 123 5th Ave
 Kirkland, WA 98033

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Social security number									

Note. If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

or

Employer identification number									

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

Sign Here	Signature of U.S. person ▶	Date ▶
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at www.irs.gov/fw9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding? on page 2.

By signing the filled-out form, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
2. Certify that you are not subject to backup withholding, or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
4. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

Note. If you are a U.S. person and a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

Definition of a U.S. person. For federal tax purposes, you are considered a U.S. person if you are:

- An individual who is a U.S. citizen or U.S. resident alien;
- A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States;
- An estate (other than a foreign estate); or
- A domestic trust (as defined in Regulations section 301.7701-7).

Special rules for partnerships. Partnerships that conduct a trade or business in the United States are generally required to pay a withholding tax under section 1446 on any foreign partners' share of effectively connected taxable income from such business. Further, in certain cases where a Form W-9 has not been received, the rules under section 1446 require a partnership to presume that a partner is a foreign person, and pay the section 1446 withholding tax. Therefore, if you are a U.S. person that is a partner in a partnership conducting a trade or business in the United States, provide Form W-9 to the partnership to establish your U.S. status and avoid section 1446 withholding on your share of partnership income.

In the cases below, the following person must give Form W-9 to the partnership for purposes of establishing its U.S. status and avoiding withholding on its allocable share of net income from the partnership conducting a trade or business in the United States:

- In the case of a disregarded entity with a U.S. owner, the U.S. owner of the disregarded entity and not the entity;
- In the case of a grantor trust with a U.S. grantor or other U.S. owner, generally, the U.S. grantor or other U.S. owner of the grantor trust and not the trust; and
- In the case of a U.S. trust (other than a grantor trust), the U.S. trust (other than a grantor trust) and not the beneficiaries of the trust.

Foreign person. If you are a foreign person or the U.S. branch of a foreign bank that has elected to be treated as a U.S. person, do not use Form W-9. Instead, use the appropriate Form W-8 or Form 8233 (see Publication 515, Withholding of Tax on Nonresident Aliens and Foreign Entities).

Nonresident alien who becomes a resident alien. Generally, only a nonresident alien individual may use the terms of a tax treaty to reduce or eliminate U.S. tax on certain types of income. However, most tax treaties contain a provision known as a "saving clause." Exceptions specified in the saving clause may permit an exemption from tax to continue for certain types of income even after the payee has otherwise become a U.S. resident alien for tax purposes.

If you are a U.S. resident alien who is relying on an exception contained in the saving clause of a tax treaty to claim an exemption from U.S. tax on certain types of income, you must attach a statement to Form W-9 that specifies the following five items:

1. The treaty country. Generally, this must be the same treaty under which you claimed exemption from tax as a nonresident alien.
2. The treaty article addressing the income.
3. The article number (or location) in the tax treaty that contains the saving clause and its exceptions.
4. The type and amount of income that qualifies for the exemption from tax.
5. Sufficient facts to justify the exemption from tax under the terms of the treaty article.

Example. Article 20 of the U.S.-China income tax treaty allows an exemption from tax for scholarship income received by a Chinese student temporarily present in the United States. Under U.S. law, this student will become a resident alien for tax purposes if his or her stay in the United States exceeds 5 calendar years. However, paragraph 2 of the first Protocol to the U.S.-China treaty (dated April 30, 1984) allows the provisions of Article 20 to continue to apply even after the Chinese student becomes a resident alien of the United States. A Chinese student who qualifies for this exception (under paragraph 2 of the first protocol) and is relying on this exception to claim an exemption from tax on his or her scholarship or fellowship income would attach to Form W-9 a statement that includes the information described above to support that exemption.

If you are a nonresident alien or a foreign entity, give the requester the appropriate completed Form W-8 or Form 8233.

Backup Withholding

What is backup withholding? Persons making certain payments to you must under certain conditions withhold and pay to the IRS 28% of such payments. This is called "backup withholding." Payments that may be subject to backup withholding include interest, tax-exempt interest, dividends, broker and barter exchange transactions, rents, royalties, nonemployee pay, payments made in settlement of payment card and third party network transactions, and certain payments from fishing boat operators. Real estate transactions are not subject to backup withholding.

You will not be subject to backup withholding on payments you receive if you give the requester your correct TIN, make the proper certifications, and report all your taxable interest and dividends on your tax return.

Payments you receive will be subject to backup withholding if:

1. You do not furnish your TIN to the requester,
2. You do not certify your TIN when required (see the Part II instructions on page 3 for details),

3. The IRS tells the requester that you furnished an incorrect TIN,

4. The IRS tells you that you are subject to backup withholding because you did not report all your interest and dividends on your tax return (for reportable interest and dividends only), or

5. You do not certify to the requester that you are not subject to backup withholding under 4 above (for reportable interest and dividend accounts opened after 1983 only).

Certain payees and payments are exempt from backup withholding. See *Exempt payee code* on page 3 and the separate Instructions for the Requester of Form W-9 for more information.

Also see *Special rules for partnerships* above.

What is FATCA reporting?

The Foreign Account Tax Compliance Act (FATCA) requires a participating foreign financial institution to report all United States account holders that are specified United States persons. Certain payees are exempt from FATCA reporting. See *Exemption from FATCA reporting code* on page 3 and the Instructions for the Requester of Form W-9 for more information.

Updating Your Information

You must provide updated information to any person to whom you claimed to be an exempt payee if you are no longer an exempt payee and anticipate receiving reportable payments in the future from this person. For example, you may need to provide updated information if you are a C corporation that elects to be an S corporation, or if you no longer are tax exempt. In addition, you must furnish a new Form W-9 if the name or TIN changes for the account; for example, if the grantor of a grantor trust dies.

Penalties

Failure to furnish TIN. If you fail to furnish your correct TIN to a requester, you are subject to a penalty of \$50 for each such failure unless your failure is due to reasonable cause and not to willful neglect.

Civil penalty for false information with respect to withholding. If you make a false statement with no reasonable basis that results in no backup withholding, you are subject to a \$500 penalty.

Criminal penalty for falsifying information. Willfully falsifying certifications or affirmations may subject you to criminal penalties including fines and/or imprisonment.

Misuse of TINs. If the requester discloses or uses TINs in violation of federal law, the requester may be subject to civil and criminal penalties.

Specific Instructions

Line 1

You must enter one of the following on this line; **do not** leave this line blank. The name should match the name on your tax return.

If this Form W-9 is for a joint account, list first, and then circle, the name of the person or entity whose number you entered in Part I of Form W-9.

a. **Individual.** Generally, enter the name shown on your tax return. If you have changed your last name without informing the Social Security Administration (SSA) of the name change, enter your first name, the last name as shown on your social security card, and your new last name.

Note. ITIN applicant: Enter your individual name as it was entered on your Form W-7 application, line 1a. This should also be the same as the name you entered on the Form 1040/1040A/1040EZ you filed with your application.

b. **Sole proprietor or single-member LLC.** Enter your individual name as shown on your 1040/1040A/1040EZ on line 1. You may enter your business, trade, or "doing business as" (DBA) name on line 2.

c. **Partnership, LLC that is not a single-member LLC, C Corporation, or S Corporation.** Enter the entity's name as shown on the entity's tax return on line 1 and any business, trade, or DBA name on line 2.

d. **Other entities.** Enter your name as shown on required U.S. federal tax documents on line 1. This name should match the name shown on the charter or other legal document creating the entity. You may enter any business, trade, or DBA name on line 2.

e. **Disregarded entity.** For U.S. federal tax purposes, an entity that is disregarded as an entity separate from its owner is treated as a "disregarded entity." See Regulations section 301.7701-2(c)(2)(iii). Enter the owner's name on line 1. The name of the entity entered on line 1 should never be a disregarded entity. The name on line 1 should be the name shown on the income tax return on which the income should be reported. For example, if a foreign LLC that is treated as a disregarded entity for U.S. federal tax purposes has a single owner that is a U.S. person, the U.S. owner's name is required to be provided on line 1. If the direct owner of the entity is also a disregarded entity, enter the first owner that is not disregarded for federal tax purposes. Enter the disregarded entity's name on line 2, "Business name/disregarded entity name." If the owner of the disregarded entity is a foreign person, the owner must complete an appropriate Form W-8 instead of a Form W-9. This is the case even if the foreign person has a U.S. TIN.

Line 2

If you have a business name, trade name, DBA name, or disregarded entity name, you may enter it on line 2.

Line 3

Check the appropriate box in line 3 for the U.S. federal tax classification of the person whose name is entered on line 1. Check only one box in line 3.

Limited Liability Company (LLC). If the name on line 1 is an LLC treated as a partnership for U.S. federal tax purposes, check the "Limited Liability Company" box and enter "P" in the space provided. If the LLC has filed Form 8832 or 2553 to be taxed as a corporation, check the "Limited Liability Company" box and in the space provided enter "C" for C corporation or "S" for S corporation. If it is a single-member LLC that is a disregarded entity, do not check the "Limited Liability Company" box; instead check the first box in line 3 "Individual/sole proprietor or single-member LLC."

Line 4, Exemptions

If you are exempt from backup withholding and/or FATCA reporting, enter in the appropriate space in line 4 any code(s) that may apply to you.

Exempt payee code.

- Generally, individuals (including sole proprietors) are not exempt from backup withholding.
- Except as provided below, corporations are exempt from backup withholding for certain payments, including interest and dividends.
- Corporations are not exempt from backup withholding for payments made in settlement of payment card or third party network transactions.
- Corporations are not exempt from backup withholding with respect to attorneys' fees or gross proceeds paid to attorneys, and corporations that provide medical or health care services are not exempt with respect to payments reportable on Form 1099-MISC.

The following codes identify payees that are exempt from backup withholding. Enter the appropriate code in the space in line 4.

- 1—An organization exempt from tax under section 501(a), any IRA, or a custodial account under section 403(b)(7) if the account satisfies the requirements of section 401(f)(2)
- 2—The United States or any of its agencies or instrumentalities
- 3—A state, the District of Columbia, a U.S. commonwealth or possession, or any of their political subdivisions or instrumentalities
- 4—A foreign government or any of its political subdivisions, agencies, or instrumentalities
- 5—A corporation
- 6—A dealer in securities or commodities required to register in the United States, the District of Columbia, or a U.S. commonwealth or possession
- 7—A futures commission merchant registered with the Commodity Futures Trading Commission
- 8—A real estate investment trust
- 9—An entity registered at all times during the tax year under the Investment Company Act of 1940
- 10—A common trust fund operated by a bank under section 584(a)
- 11—A financial institution
- 12—A middleman known in the investment community as a nominee or custodian
- 13—A trust exempt from tax under section 664 or described in section 4947

The following chart shows types of payments that may be exempt from backup withholding. The chart applies to the exempt payees listed above, 1 through 13.

IF the payment is for . . .	THEN the payment is exempt for . . .
Interest and dividend payments	All exempt payees except for 7
Broker transactions	Exempt payees 1 through 4 and 6 through 11 and all C corporations. S corporations must not enter an exempt payee code because they are exempt only for sales of noncovered securities acquired prior to 2012.
Barter exchange transactions and patronage dividends	Exempt payees 1 through 4
Payments over \$600 required to be reported and direct sales over \$5,000 ¹	Generally, exempt payees 1 through 5 ²
Payments made in settlement of payment card or third party network transactions	Exempt payees 1 through 4

¹ See Form 1099-MISC, Miscellaneous Income, and its instructions.

² However, the following payments made to a corporation and reportable on Form 1099-MISC are not exempt from backup withholding: medical and health care payments, attorneys' fees, gross proceeds paid to an attorney reportable under section 6045(f), and payments for services paid by a federal executive agency.

Exemption from FATCA reporting code. The following codes identify payees that are exempt from reporting under FATCA. These codes apply to persons submitting this form for accounts maintained outside of the United States by certain foreign financial institutions. Therefore, if you are only submitting this form for an account you hold in the United States, you may leave this field blank. Consult with the person requesting this form if you are uncertain if the financial institution is subject to these requirements. A requester may indicate that a code is not required by providing you with a Form W-9 with "Not Applicable" (or any similar indication) written or printed on the line for a FATCA exemption code.

A—An organization exempt from tax under section 501(a) or any individual retirement plan as defined in section 7701(a)(37)

B—The United States or any of its agencies or instrumentalities

C—A state, the District of Columbia, a U.S. commonwealth or possession, or any of their political subdivisions or instrumentalities

D—A corporation the stock of which is regularly traded on one or more established securities markets, as described in Regulations section 1.1472-1(c)(1)(i)

E—A corporation that is a member of the same expanded affiliated group as a corporation described in Regulations section 1.1472-1(c)(1)(i)

F—A dealer in securities, commodities, or derivative financial instruments (including notional principal contracts, futures, forwards, and options) that is registered as such under the laws of the United States or any state

G—A real estate investment trust

H—A regulated investment company as defined in section 851 or an entity registered at all times during the tax year under the Investment Company Act of 1940

I—A common trust fund as defined in section 584(a)

J—A bank as defined in section 581

K—A broker

L—A trust exempt from tax under section 664 or described in section 4947(a)(1)

M—A tax exempt trust under a section 403(b) plan or section 457(g) plan

Note. You may wish to consult with the financial institution requesting this form to determine whether the FATCA code and/or exempt payee code should be completed.

Line 5

Enter your address (number, street, and apartment or suite number). This is where the requester of this Form W-9 will mail your information returns.

Line 6

Enter your city, state, and ZIP code.

Part I. Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. If you are a resident alien and you do not have and are not eligible to get an SSN, your TIN is your IRS individual taxpayer identification number (ITIN). Enter it in the social security number box. If you do not have an ITIN, see *How to get a TIN* below.

If you are a sole proprietor and you have an EIN, you may enter either your SSN or EIN. However, the IRS prefers that you use your SSN.

If you are a single-member LLC that is disregarded as an entity separate from its owner (see *Limited Liability Company (LLC)* on this page), enter the owner's SSN (or EIN, if the owner has one). Do not enter the disregarded entity's EIN. If the LLC is classified as a corporation or partnership, enter the entity's EIN.

Note. See the chart on page 4 for further clarification of name and TIN combinations.

How to get a TIN. If you do not have a TIN, apply for one immediately. To apply for an SSN, get Form SS-5, Application for a Social Security Card, from your local SSA office or get this form online at www.ssa.gov. You may also get this form by calling 1-800-772-1213. Use Form W-7, Application for IRS Individual Taxpayer Identification Number, to apply for an ITIN, or Form SS-4, Application for Employer Identification Number, to apply for an EIN. You can apply for an EIN online by accessing the IRS website at www.irs.gov/businesses and clicking on Employer Identification Number (EIN) under Starting a Business. You can get Forms W-7 and SS-4 from the IRS by visiting IRS.gov or by calling 1-800-TAX-FORM (1-800-829-3676).

If you are asked to complete Form W-9 but do not have a TIN, apply for a TIN and write "Applied For" in the space for the TIN, sign and date the form, and give it to the requester. For interest and dividend payments, and certain payments made with respect to readily tradable instruments, generally you will have 60 days to get a TIN and give it to the requester before you are subject to backup withholding on payments. The 60-day rule does not apply to other types of payments. You will be subject to backup withholding on all such payments until you provide your TIN to the requester.

Note. Entering "Applied For" means that you have already applied for a TIN or that you intend to apply for one soon.

Caution: A disregarded U.S. entity that has a foreign owner must use the appropriate Form W-8.

Part II. Certification

To establish to the withholding agent that you are a U.S. person, or resident alien, sign Form W-9. You may be requested to sign by the withholding agent even if items 1, 4, or 5 below indicate otherwise.

For a joint account, only the person whose TIN is shown in Part I should sign (when required). In the case of a disregarded entity, the person identified on line 1 must sign. Exempt payees, see *Exempt payee code* earlier.

Signature requirements. Complete the certification as indicated in items 1 through 5 below.

- 1. Interest, dividend, and barter exchange accounts opened before 1984 and broker accounts considered active during 1983.** You must give your correct TIN, but you do not have to sign the certification.
- 2. Interest, dividend, broker, and barter exchange accounts opened after 1983 and broker accounts considered inactive during 1983.** You must sign the certification or backup withholding will apply. If you are subject to backup withholding and you are merely providing your correct TIN to the requester, you must cross out item 2 in the certification before signing the form.
- 3. Real estate transactions.** You must sign the certification. You may cross out item 2 of the certification.
- 4. Other payments.** You must give your correct TIN, but you do not have to sign the certification unless you have been notified that you have previously given an incorrect TIN. "Other payments" include payments made in the course of the requester's trade or business for rents, royalties, goods (other than bills for merchandise), medical and health care services (including payments to corporations), payments to a nonemployee for services, payments made in settlement of payment card and third party network transactions, payments to certain fishing boat crew members and fishermen, and gross proceeds paid to attorneys (including payments to corporations).
- 5. Mortgage interest paid by you, acquisition or abandonment of secured property, cancellation of debt, qualified tuition program payments (under section 529), IRA, Coverdell ESA, Archer MSA or HSA contributions or distributions, and pension distributions.** You must give your correct TIN, but you do not have to sign the certification.

What Name and Number To Give the Requester

For this type of account:	Give name and SSN of:
1. Individual	The individual
2. Two or more individuals (joint account)	The actual owner of the account or, if combined funds, the first individual on the account ¹
3. Custodian account of a minor (Uniform Gift to Minors Act)	The minor ²
4. a. The usual revocable savings trust (grantor is also trustee) b. So-called trust account that is not a legal or valid trust under state law	The grantor-trustee ¹ The actual owner ¹
5. Sole proprietorship or disregarded entity owned by an individual	The owner ³
6. Grantor trust filing under Optional Form 1099 Filing Method 1 (see Regulations section 1.671-4(b)(2)(i)(A))	The grantor*
For this type of account:	Give name and EIN of:
7. Disregarded entity not owned by an individual	The owner
8. A valid trust, estate, or pension trust	Legal entity ⁴
9. Corporation or LLC electing corporate status on Form 8832 or Form 2553	The corporation
10. Association, club, religious, charitable, educational, or other tax-exempt organization	The organization
11. Partnership or multi-member LLC	The partnership
12. A broker or registered nominee	The broker or nominee
13. Account with the Department of Agriculture in the name of a public entity (such as a state or local government, school district, or prison) that receives agricultural program payments	The public entity
14. Grantor trust filing under the Form 1041 Filing Method or the Optional Form 1099 Filing Method 2 (see Regulations section 1.671-4(b)(2)(i)(B))	The trust

¹ List first and circle the name of the person whose number you furnish. If only one person on a joint account has an SSN, that person's number must be furnished.

² Circle the minor's name and furnish the minor's SSN.

³ You must show your individual name and you may also enter your business or DBA name on the "Business name/disregarded entity" name line. You may use either your SSN or EIN (if you have one), but the IRS encourages you to use your SSN.

⁴ List first and circle the name of the trust, estate, or pension trust. (Do not furnish the TIN of the personal representative or trustee unless the legal entity itself is not designated in the account title.) Also see *Special rules for partnerships* on page 2.

*Note. Grantor also must provide a Form W-9 to trustee of trust.

Note. If no name is circled when more than one name is listed, the number will be considered to be that of the first name listed.

Secure Your Tax Records from Identity Theft

Identity theft occurs when someone uses your personal information such as your name, SSN, or other identifying information, without your permission, to commit fraud or other crimes. An identity thief may use your SSN to get a job or may file a tax return using your SSN to receive a refund.

To reduce your risk:

- Protect your SSN,
- Ensure your employer is protecting your SSN, and
- Be careful when choosing a tax preparer.

If your tax records are affected by identity theft and you receive a notice from the IRS, respond right away to the name and phone number printed on the IRS notice or letter.

If your tax records are not currently affected by identity theft but you think you are at risk due to a lost or stolen purse or wallet, questionable credit card activity or credit report, contact the IRS Identity Theft Hotline at 1-800-908-4490 or submit Form 14039.

For more information, see Publication 4535, Identity Theft Prevention and Victim Assistance.

Victims of identity theft who are experiencing economic harm or a system problem, or are seeking help in resolving tax problems that have not been resolved through normal channels, may be eligible for Taxpayer Advocate Service (TAS) assistance. You can reach TAS by calling the TAS toll-free case intake line at 1-877-777-4778 or TTY/TDD 1-800-829-4059.

Protect yourself from suspicious emails or phishing schemes. Phishing is the creation and use of email and websites designed to mimic legitimate business emails and websites. The most common act is sending an email to a user falsely claiming to be an established legitimate enterprise in an attempt to scam the user into surrendering private information that will be used for identity theft.

The IRS does not initiate contacts with taxpayers via emails. Also, the IRS does not request personal detailed information through email or ask taxpayers for the PIN numbers, passwords, or similar secret access information for their credit card, bank, or other financial accounts.

If you receive an unsolicited email claiming to be from the IRS, forward this message to phishing@irs.gov. You may also report misuse of the IRS name, logo, or other IRS property to the Treasury Inspector General for Tax Administration (TIGTA) at 1-800-366-4484. You can forward suspicious emails to the Federal Trade Commission at: spam@uce.gov or contact them at www.ftc.gov/idtheft or 1-877-IDTHEFT (1-877-438-4338).

Visit IRS.gov to learn more about identity theft and how to reduce your risk.

Privacy Act Notice

Section 6109 of the Internal Revenue Code requires you to provide your correct TIN to persons (including federal agencies) who are required to file information returns with the IRS to report interest, dividends, or certain other income paid to you; mortgage interest you paid; the acquisition or abandonment of secured property; the cancellation of debt; or contributions you made to an IRA, Archer MSA, or HSA. The person collecting this form uses the information on the form to file information returns with the IRS, reporting the above information. Routine uses of this information include giving it to the Department of Justice for civil and criminal litigation and to cities, states, the District of Columbia, and U.S. commonwealths and possessions for use in administering their laws. The information also may be disclosed to other countries under a treaty, to federal and state agencies to enforce civil and criminal laws, or to federal law enforcement and intelligence agencies to combat terrorism. You must provide your TIN whether or not you are required to file a tax return. Under section 3406, payers must generally withhold a percentage of taxable interest, dividend, and certain other payments to a payee who does not give a TIN to the payer. Certain penalties may also apply for providing false or fraudulent information.

Rebate Form - Downspout Disconnection

Downspout Disconnection - Rebate Claim Form



Basic Information

Name: _____

Phone: _____

Email: _____

Project Address: _____

Mailing Address (if different): _____

Project Information

Downspout #1	Downspout #2
Downspout ID (from site report): _____	Downspout ID (from site report): _____
Contributing roof area: _____ square feet	Contributing roof area: _____ square feet
How is the water from the downspout(s) dispersed? <input type="checkbox"/> Splash block <input type="checkbox"/> Rock pad	How is the water from the downspout(s) dispersed? <input type="checkbox"/> Splash block <input type="checkbox"/> Rock pad
Where does runoff flow?	Where does runoff flow?

Required Supporting Documents

- Before and after disconnection picture(s) of the downspout(s)
- Receipts and proof of payment (credit card receipts, canceled checks) for supplies

Complete and sign this Statement of Understanding. Unsigned forms will not be processed.

I, _____, have completed this form accurately to the best of my ability. Upon completing the Project Rebate Form, I will agree to maintain my project for 5 years, and give the City of Kirkland permission to access and assess my project(s) for that duration.

Signature _____ Date _____

OFFICE USE ONLY

Date rebate form & attachments received _____

Date disconnection verified _____ Date check mailed _____

Total rebate amount	\$ _____
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Rebate Form - Tree Planting



Tree Planting - Rebate Cover Sheet

Basic Information

Name: _____

Phone: _____

Email: _____

Project Address: _____

Mailing Address (if different): _____

Project Information

Number of Trees Planted _____

Details

Required Supporting Documents

- Maintenance Agreement
- W-9
- Photo(s) of planted tree(s)
- Receipts and proof of payment (credit card receipts, canceled checks) for mulch and each tree purchased
- Photo of Nursery tags

Date rebate form & attachments received _____

Date tree planting verified _____

Date check mailed _____

Rebate eligible tree costs	
Rebate eligible compost/mulch costs	
Total rebate amount	\$